

20/6/2021

Planning,  
Industry &  
Environment

## Modification Determination

Project No. BGNTX

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, NSW Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, NSW Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name.....Deborah Brill.....

Dated.....20/6/2021.....

Having regard to the Project Approval Modification Report for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I approve the proposed modification as outlined in **Schedule 1** and subject to the identified requirements set out in **Schedule 2**.

## SCHEDULE 1

Project No. BGNTX originally approved on **7 September 2018** and amended **3 August 2020**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

N/A

Street or property name

Julius Road &amp; Copperfield Drive

Suburb, town or locality

Rosemeadow

Postcode

2560

Local Government Area(s)

City of Campbelltown

Real property description (Lot and DP)

Lots 90 in DP 1166578  
Lots 33 & 34 DP 700703  
Part Volume 3714 Folio 16 shown on DP 1148289  
Lots 25 & 38 in DP 700703

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

## ACTIVITY DESCRIPTION

Provide a description of the activity

Subdivision of four (4) lots into 99 lots, comprising 91 residential lots, three (3) residue lots, one (1) drainage reserve, four (4) future road dedication lots; demolition, associated subdivision works, as well as removal of trees, street landscaping, traffic median infrastructure and installation of additional stormwater quality treatment devices.

Signed.....

Dated..... 20/6/2021

Deb Brill  
Deputy Chief Executive, Head of Policy & Innovation  
Land & Housing Corporation

## SCHEDULE 2 MODIFICATION OF PROJECT APPROVAL

### MODIFIED IDENTIFIED REQUIREMENTS

#### **PART A – Standard identified requirements**

##### **GENERAL**

*The following identified requirements have been imposed to ensure that the development activity is carried out in accordance with the plans / documents and any amendments approved under Part 5 of the Environmental Planning & Assessment Act 1979.*

1. The development must be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision/ Issue:	Date	Prepared by:
<b>Proposed Plan of Subdivision</b>				
Plan of Proposed Subdivision	300178176.03.CC021	D	01/12/20	SMEC
<b>Subdivision Plans</b>				
Cover Sheet & Locality Plan	300177343.05.DA001	05	17/11/20	SMEC
Sheet Schedule & Notes	300177343.05.DA002	05	29/04/21	
Demolition Plan	300177343.05.DA011	04	26/11/20	
Services Demolition Plan	300177343.05.DA012	04	14/10/20	
Typical Road Cross Section	300177343.05.DA041	05	14/10/20	

Title / Name:	Drawing No / Document Ref	Revision/ Issue:	Date	Prepared by:
Cut and Fill Plan	300177343.05.DA051	04	14/10/20	
Civil Works Plan	300177343.05.DA101	06	14/10/20	
Road Long Sections	300177343.05.DA201	04	02/10/20	
Section A	300177343.05.DA251	04	14/10/20	
Music Catchment Plan	300177343.05.DA501	03	02/12/20	
Retaining Wall Plan	300177343.05.DA601	05	02/12/20	
Streetscape Plan	300177343.05.DA701	06	03/12/20	
Line Marking and Sign Posting Plan	300177343.05.DA801	04	26/11/20	
Soil and Water Management Plan	300177343.05.DA851	04	26/11/20	
Soil and Water Management Details and Notes	300177343.05.DA861	04	26/11/20	
<b>SPECIALIST REPORTS &amp; CERTIFICATES</b>				
Statement of Compliance - Stormwater Drainage	78176.00.LEO2	-	16/12/20	SMEC
Arboricultural Impact Assessment	2807	-	28/04/2017	Redgum Horticultural
Drainage Report	77343.05	04	19/01/2018	SMEC
Phase 1 and 2 Contamination, Salinity and Geotechnical Investigation	JC17299A-r1	-	August 2017	SMEC
Services Report	77343.05	03	19/01/2018	SMEC
Traffic and Parking Assessment Report	17002	-	15/02/2018	Varga Traffic Planning Pty Ltd

2. All subdivision/subdivision works is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All subdivisions works documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
4. The land subject of this approval must be subdivided as shown in the Plan of Proposed Subdivision. The subdivision plan must be lodged at NSW Land Registry Services and be registered. A copy of the registered plan is to be provided to the Land & Housing Corporation.

## **OPERATIONAL MATTERS**

*These identified requirements pertain to the use of the site and have been imposed to ensure that the development and its operation do not interfere with the amenity of the surrounding area.*

### **Stormwater Run-off**

5. Stormwater is to be collected within the site, and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area substantially in accordance with the approved concept stormwater drainage plans.
6. Alterations to the natural surface contours or surface absorption characteristics must not impede, increase or divert natural surface water runoff, so as to cause a nuisance to adjoining property owners.

### **Site Works**

7. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
8. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / subdivision works are to be maintained during the entire period of the works until disturbed areas are restored by turfing, paving or revegetation.
9. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### **Site Soil Contamination**

10. The site has been identified as being potentially affected by soil contamination. A proposal for remediation is to be prepared by a suitably qualified person, which may include preparation of a Remedial Action Plan, and remediation is to be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, is to be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report is to be provided to the Land & Housing Corporation on completion of the remediation works.

### **Landscaping**

11. A detailed landscape plan showing plant numbers, specie type and size, is to be prepared in consultation with Council and submitted to the Land and Housing Corporation substantially in accordance with the approved Streetscape Plan prior to commencement of subdivision works.
12. All scheduled plant stock shall be pre-ordered, prior to commencement of subdivision works or at least 3 months prior to the commencement of landscape construction works, for the supply to the site on time for installation. The builder shall provide a written confirmation of the order to Council and the Land and Housing Corporation.



## **Public Liability Insurance**

13. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor or the Land and Housing Corporation (as applicable).

## **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following identified requirements are to be complied with prior to any work commencing on the site.*

### **Long Service Levy**

14. ~~The long service levy shall be paid by the Land & Housing Corporation to the Long Service Payments Corporation in accordance with the Building & Construction Industry Long Service Payments Act 1986 prior to the commencement of any building and construction works.~~

*Note:*

~~Where approval has been granted for development by a Crown body other than a council, the amount payable is 0.35% of the contract inclusive of GST.~~

(Deleted)

### **Utilities Service Provider Notification**

15. The demolition and subdivision plans must be submitted to the appropriate local / major water utility's office (e.g. Sydney Water office) to determine whether the development will affect the utility's sewer and water mains, stormwater drains and/or easements. If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

## **Demolition – General**

16. Any existing structures, which are not to be retained, are to be demolished prior to commencement of subdivision works associated with the approved development.
17. Demolition is to be carried out in accordance with the appropriate provisions of AS 2601 2001.
18. Where materials containing asbestos are to be removed, demolition is to be carried out by a licensed contractor(s) who has current SafeWork NSW accreditation in asbestos removal.
19. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Code of Practice for the Safe Removal of Asbestos [NOHSC:2002 1998)].
20. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Office of Environment and Heritage.
21. Documentary evidence in the form of tip receipts from an approved Waste Management Facility shall be obtained by the demolition contractor and submitted to the Land and Housing Corporation demonstrating the appropriate disposal of the asbestos waste.

22. Demolition procedures shall maximize the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
23. During demolition, the public footway and public road shall be kept clear and shall not be obstructed by any demolished material or vehicles. The public road and footway shall be swept (not hosed) clean of any material, including clay, soil and sand.
24. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footways and the footway shall be suitably protected against damage when plant and vehicles access the site.
25. The burning of any demolished material on site is not permitted.

#### **Demolition – Prior to works commencing**

26. The builder is to notify the occupants of the houses to the east on the opposite side of Copperfield Drive, and to the south and west on the opposite side of Julius Road, a minimum of two days prior to demolition. Such notification is to be clearly written on A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit of a multi-unit residential building or mixed use building if applicable). The demolition must not commence prior to the date which has been stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials, including surfaces coated with lead paint, method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. On demolition sites where buildings to be demolished contain asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent visible position on the site.

*Note:*

*Any buildings constructed before 1987 is assumed to contain asbestos.*

#### **Stormwater Disposal**

29. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), is to be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with any catchment authority requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the council for the area's drainage code.
30. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services must be submitted to the Land and Housing Corporation prior to the issue of the Subdivision Certificate.

#### **Council Notification**

31. The council for the area shall be advised in writing of the date it is intended to commence work, including demolition. A minimum period of two (2) working days notification shall be given.

## Landfill

32. Where site filling is necessary, a minimum of 95% standard compacting must be achieved and certified by a NATA registered Soils Lab.
33. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
  - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. be free of industrial waste and building debris.

## Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.
35. Access to the site is to be provided only via an all weather driveway on the property and is not to be provided from any other site.

## Site Safety

36. A sign must be erected in a prominent position on the site on which demolition or subdivision works are being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) for any and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.

The sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

37. A Class A (minimum 1.8m high security fence) or Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition and subdivision works. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition and subdivision work is not in progress or the site is otherwise unoccupied.

### *Note:*

*Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

38. Prior to commencement of any works, a Traffic Control Plan (TCP) shall be prepared by a suitability qualified person in accordance with the RTA manual *Traffic Control at Work*

Sites and AS 1742.3. A copy of the approved TCP shall be kept on site for the duration of the works in accordance with Work Cover Authority requirements. A copy shall be submitted to the Land and Housing Corporation and to the council for the area for its records.

39. All traffic control is to be undertaken and maintained strictly in accordance with AS 1742.3, the requirements set out in the RTA manual *Traffic Control at Work Sites*, all applicable Traffic Management and/or Traffic Control Plans. All Work Cover Authority requirements must also be complied with.
40. Demolition waste and/or materials are not to be stored on the council for the area's footpath or roadway.

### **Protection of Trees**

41. Trees and other vegetation that are to be retained on site are to be protected prior to the commencement of works and for the duration of the subdivision works construction period in accordance with the details provided in the submitted arborist report.

### **Waste Management**

42. A final Waste Management Plan is to be prepared and submitted to the Land & Housing Corporation prior to the commencement of demolition and subdivision works. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

### **DURING DEMOLITION/ CONSTRUCTION**

*The following identified requirements are to be complied with whilst works are occurring on the site.*

#### **Heritage**

43. Historic and indigenous archaeological sites and relics are protected under the Heritage Act 1977 and National Parks and Wildlife Act 1974 respectively. Should any relics be uncovered during the course of the approved works, work must cease in the affected area. Subsequently in cases where historical items have been uncovered, the Department of Planning, Industry & Environment must be contacted or if indigenous items have been uncovered the Office of Environment & Heritage must be contacted.
44. All workers / contractors must be informed of their obligations under the National Parks and Wildlife Act 1974, namely that it is illegal to disturb, damage or destroy a relic without the prior approval of the Chief Executive of the Office of Environment & Heritage.

#### **Demolition**

45. Care shall be taken during demolition to ensure that existing services on the site (ie sewer, electricity, gas, and telecommunications) are not damaged.

#### **Hours of Demolition / Construction / Civil Work**

46. Demolition /civil work is only permitted on the site between the hours of 7am to 6pm Monday to Friday and 8am to 1 pm on Saturday with no work permitted on Sundays or public holidays.

### **Excavation & Backfilling**

47. All excavations and backfilling associated with the demolition and subdivision works must be executed safely and in accordance with appropriate professional standards. All such work is to be guarded and protected to prevent it from being dangerous to life or property.

### **Pollution Control**

48. Any noise generated during the demolition and subdivision works shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the Department of Environment and Climate Change (now Office of Environment and Heritage).
49. No fires are to be lit or waste materials burnt on the site.
50. Wastewater from the washing of trucks is not to enter the stormwater drainage system.
51. Any contamination / spills on the site during demolition and subdivision works must be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
52. Dust generation during demolition and subdivision works shall be controlled using regular control measures such as on site watering or damp cloth fences.
53. All vehicles transporting loose materials and travelling on public roads must be secured (i.e. closed tail gate and covered) to minimise dust generation.
54. Spraying of paint and other materials with the potential to become air borne particulates must only be undertaken in light wind conditions.
55. Non-recyclable waste and containers must be regularly collected and disposed of at a licensed landfill or other disposal site in the area in accordance with details set out in the Waste Management Plan to be prepared and submitted to the Land & Housing Corporation prior to the commencement of demolition and subdivision works.

### **Impact of Construction Works**

56. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
57. Care shall be taken to prevent any damage to adjoining properties. The building contractor may be liable to pay compensation to any adjoining owner if, due to demolition and subdivision works, damage is caused to such adjoining property.

### **PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE**

*The following identified requirements are to be complied with prior to the issue of a subdivision certificate*

#### **General**

58. The registration of the subdivision shall not occur until all requirements of this approval have been complied with.

## **Road Damage**

59. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the subject site as a result of demolition / subdivision works associated with the approved development is to be met in full by the building contractor.

## **Stormwater Drainage**

60. Prior to issuing of the subdivision certificate, a Work As Executed Plan must be prepared clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan should demonstrate general compliance with the approved concept stormwater drainage plan(s) and must include:

- Sufficient levels and dimensions to verify the constructed storage volume.
- Location and surface levels of all pits.
- Invert levels of the internal drainage line, orifice plates fitted and levels within the outlet control pit.
- Finished floor levels of all structures.
- Verification that any required trash screens have been installed.
- Locations and levels of any overland flow paths.
- Verification that any drainage lines are located wholly within easements.

The Work-As-Executed Plan information should be shown on a copy of the final civil works drawings.

A positive covenant and restriction-as-to-user must be placed over any onsite detention system in accordance with the council for the area's on-site detention policy to ensure that system will be adequately maintained. The positive covenant and restriction-as-to-user must be registered at Land and Property Information prior to issue of subdivision certificate. A copy of the registered restriction-as-to-user is to be provided to the Land & Housing Corporation and the council for the area.

## **SUBDIVISION – PRIOR TO WORKS COMMENCING**

*The following conditions have been imposed to ensure that the approved subdivision complies with all relevant requirements. These conditions are to be complied with prior to the commencement of any subdivision works on site.*

### **Service Authority Clearances**

61. *[Deleted]*
62. *[Deleted]*
63. *[Deleted]*
64. *[Deleted]*

### **Disconnection of services**

65. All previously connected services that are required to be disconnected shall be appropriately disconnected and made safe prior to works commencing. The various service authorities shall be consulted regarding their requirements for the disconnection of services.

66. All existing services within the boundary to remain live must be identified, pegged and made safe.

### **Existing Drainage**

67. Prior to the commencement of subdivision works, a suitably qualified engineer shall certify that the proposed works meet council's engineering standards, and any increased flows from the approved development will have no significant impact on the existing drainage system serving the site, where it is proposed to discharge stormwater.

### **Alignment of New Works**

68. Prior to the commencement of subdivision works, the principal contractor shall liaise with the council for the area and the adjoining land owners regarding the alignment and construction of new roads.

## **SUBDIVISION – DURING WORKS**

*The following conditions have been imposed to ensure that the approved subdivision works comply with all relevant requirements. These conditions are to be complied with during the construction of or on completion of subdivision works on site.*

### **Work Zones**

69. All loading, unloading and other activities undertaken during demolition and subdivision works shall be accommodated on the development site.

Where it is not practical to load, unload or undertake specific activities on the site during works, the provision of a 'Work Zone' external to the site approval may need to be sought from the council for the area. Where required, the application is to be made prior to the commencement of any works and is to include a suitable traffic/pedestrian management and control plan for the area of the work zone that will be affected.

### **Footpath Construction**

70. The footpath adjoining the subject land shall be regraded in accordance with levels to be obtained from the council for the area, and concrete foot paving is to be constructed in accordance with the approved drawings and the council for the area's specification for subdivision works. Areas not concreted shall be topsoiled and turfed. The footpath formation may need to be extended beyond the site boundary to provide an acceptable transition to existing footpath levels.

### **Pavement Thickness Determination**

71. A road pavement design and pavement thickness report, from a National Association of Testing Authorities, Australia (NATA) registered laboratory, in accordance with the council for the area's specification for subdivision works shall be forwarded to the Land and Housing Corporation a minimum of 2 working days prior to placement of the exposed sub grade.

### **Inspections – Civil Works**

72. The approved civil works shall be inspected at critical stages of construction by the Land and Housing Corporation's Principal Engineer (or delegated officer) in consultation with Council. The inspection schedule is to be determined by the Principal Engineer prior to the commencement of any works and may include the following:

- a. STORMWATER PIPES – Laid, jointed and prior to backfill, subsoil drainage lines.
- b. ROAD PAVEMENTS – Proof rolling, profile checking, steel inspection.
- c. PIT AND PIPES – Inspection prior to backfill of pipes, steel inspection of pits, final inspections of pits.
- d. VEHICLE CROSSINGS AND LAYBACKS – Prior to pouring concrete.
- e. FINAL INSPECTION – All outstanding work.

## **SUBDIVISION – PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE**

*The following conditions must be complied with prior to the issue of a subdivision certificate by LAHC.*

### **Service Authority Certification**

73. A compliance certificate is to be obtained from the relevant local / major water utility (eg the local council for the area or Hunter Water or Sydney Water) or other evidence confirming service connection is to be obtained and submitted to the Land and Housing Corporation prior to issue of the subdivision certificate.
74. A copy of the written clearance obtained from the electricity supply authority stating that electrical services have been made available to the development or that arrangements have been entered into for the provision of services to the development is to be submitted to the Land and Housing Corporation prior to issue of the subdivision certificate.
75. A copy of the certificate from an approved telecommunications carrier to certify that satisfactory arrangements have been made to ensure the provision of telephone services to each newly created lot is to be submitted to the Land and Housing Corporation prior to issue of the subdivision certificate.
76. Where the site is to be connected to reticulated gas, a copy of the certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each newly created lot in the development is to be submitted to the Land and Housing Corporation prior to issue of the subdivision certificate.

### **Civil Construction Certification**

77. Prior to issuing a subdivision certificate an appropriately delegated person within the Land and Housing Corporations is to certify that all civil works, including driveways, crossovers and common drainage lines have been constructed in accordance with the certified civil drawings.

### **Residential Interallotment Drainage**

78. Prior to issuing a subdivision certificate, verification shall be submitted to the Land and Housing Corporation demonstrating that interallotment drainage and associated easements have been provided for residential lots where all or part of the lots do not drain to a public road.

### **Works As Executed Plan**

79. Prior issuing a subdivision certificate, the following documents shall be submitted to the Land and Housing Corporation:



- a. Two (2) complete sets of fully marked up and certified work as executed plans in accordance with the approved plans and specifications for subdivision and drainage works and two (2) copies of the line marking/ signposting plan(s).
- b. Two (2) copies of any lot classification reports, geotechnical stability reports, dispersion tests, earthworks and fill placement reports, concrete core tests, sub grade and pavement density reports, structural and all other testing undertaken.
- c. Two (2) copies of any compliance certificates, including supply of pipes and precast units, supply of sub-base material, supply of base course material, supply of concrete, and supply of bituminous materials.

All reports/ certificates shall be prepared by a NATA registered laboratory or qualified engineer and shall list the relevant compliance standard/s and certify that the whole of the area of works or materials tested comply with the relevant specification. All reports/ certificates shall be complete, fully referenced, clearly indicate the area or material tested, the location and required/ actual values of all tests and retesting, and be collated and suitably bound.

### **Endorsement of Linen Plan**

80. Two originals plus five (5) copies of the Plan of Subdivision creating the new allotments and the original 88B instrument, if applicable, shall be submitted to the Land and Housing Corporation for endorsement prior to lodgement at the NSW Land Registry Services.

The plan of subdivision must be prepared by a surveyor and must include the details of the easements to be applied to the site and the dedication of assets to Council.

### **Restriction on the Use of Land**

81. Prior to issuing a subdivision certificate, appropriate restrictions on the use of land under Section 88B of the Conveyancing Act are to be applied, such as:
  - a. Common Drainage Lines
  - b. Overland flow paths
  - c. Party wall easements

Restrictions/ easements may also include the following:

- a. *Floor Level Control*
- b. *No Alteration To Surface Levels*
- c. *Lots filled*
- d. *Access denied*
- e. *Set back from access denied roads*
- f. *Uncontrolled fill*
- g. *Finished floor levels*
- h. *No cut or fill*
- i. *Reciprocal rights of carriageway*
- j. *Lots with any other restrictions*

The council for the area shall be consulted regarding required wording, where applicable. Any lots subsequently identified during the subdivision process as requiring restrictions shall also be suitably burdened. Where applicable, the authority empowered to release, vary or modify these restrictions on the use of land shall be the council for the area.

## **PART B – Additional identified requirements**

### **Site/project specific conditions**

82. Each lot created by the subdivision is to have an individual service connection to the mains for sewer and water which does not traverse another lot.

Any required meters must be located wholly within the relevant lot boundaries.

- 82A. Lot 194 must be developed wholly for the purpose of Seniors housing, as defined in SEPP (Housing for Seniors or People with a Disability) 2004.

### **Conditions resulting from consideration of Campbelltown City Council's comments**

83. At the intersection between Road 1 and Malcolm Way at Copperfield Drive, new splitter islands/median strips (e.g. of approximately 200mm width) are to be submitted to council prior to commencement of subdivision works and constructed as part of stage 3.
84. Detailed drainage design including connection details and levels are to be submitted to council prior to commencement of subdivision works.
85. *[Deleted]*
86. An easement shall be provided along the width of the retaining wall footing, requiring the owner of the lot to allow access for maintenance and preventing the owner of the lot from amending the adjoining levels without structural advice.
87. Laybacks are to be incorporated within construction documentation for driveways on Copperfield Drive prior to commencement of subdivision works and are to be constructed as part of Stage 3.
88. Kerb outlets are to be identified on Construction plans, including detail or note to include pipework to the boundary prior to commencement of subdivision works and constructed as part of Stage 3.
89. A suitable section 88B restriction is to be created in favour of Campbelltown City Council within Lot 38 DP 700703 for access to, and maintenance of, stormwater infrastructure prior to issue of the Subdivision Certificate.
90. Suitable concrete access and turning head infrastructure is to be provided within construction documentation for Lot 195 and existing Lot 38 DP 700703 prior to commencement of subdivision works and constructed as part of Stage 3.

### **Conditions as requested by public authorities other than councils**

91. Nil conditions

#### Note

These are additional conditions of consent requested by public authorities consulted under Clause 16 of State Environmental Planning Policy (Infrastructure) 2007, which is saved under ARH SEPP.

### **Conditions resulting from consideration of adjoining occupier comments**

92. Nil conditions

### **Specific service/ utility agency conditions**

93. Nil conditions

### **ADVISORY NOTES**

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.

### **Standard advisory notes**

#### **Disability Discrimination Act**

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.

#### **Dial 1100 Before You Dig**

- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.

#### **Inspection within Public Areas**

- iii. The council for the area should be consulted regarding all works within public areas, which may be required to be inspected at critical stages of construction and by the council on completion.

#### **Inspections – Civil Works**

- iv. The council for the area should be contacted before each critical stage inspection of the approved civil works on the site is carried out to arrange joint inspections of the works together with Housing NSW to facilitate the handover of public infrastructure assets on completion of the works.

### **Additional advisory notes resulting from consideration of the council for the area's comments**

- v. Nil advisory notes / Insert as necessary

#### **Note**

These additional advisory notes deal with matters advised by the council for the area that are not covered in the standard advisory notes but are considered appropriate for inclusion.



A1 150 mm ON ORIGINAL



150 mm ON ORIGINAL

A1

SHEET SCHEDULE	
DRAWING	DESCRIPTION
300177343.05.DA001	COVER SHEET & LOCALITY PLAN
300177343.05.DA002	SHEET SCHEDULE & NOTES
300177343.05.DA011	DEMOLITION PLAN
300177343.05.DA012	SERVICES DEMOLITION PLAN
300177343.05.DA041	TYPICAL ROAD CROSS SECTION
300177343.05.DA051	CUT AND FILL PLAN
300177343.05.DA101	CIVIL WORKS PLAN
300177343.05.DA201	ROAD LONG SECTIONS
300177343.05.DA251	SECTION A
300177343.05.DA501	MUSIC CATCHMENT PLAN
300177343.05.DA601	RETAINING WALL PLAN
300177343.05.DA651	STRUCTURAL DETAILS
300177343.05.DA701	STREETSCAPE PLAN
300177343.05.DA801	LINE MARKING AND SIGN POSTING PLAN
300177343.05.DA851	SOIL AND WATER MANAGEMENT PLAN
300177343.05.DA861	SOIL AND WATER MANAGEMENT DETAILS AND NOTES
TOTAL SHEET NUMBER OF SHEETS	16

ASSOCIATED REFERENCE DRAWINGS:		
REV	DRAWING	DESCRIPTION
D	300178176.03.CC021	PLAN OF PROPOSED SUBDIVISON

GENERAL NOTES:

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CAMPBELLTOWN COUNCIL'S SPECIFICATIONS AND TO THE REQUIREMENTS OF COUNCIL'S ENGINEER.
- INSPECTIONS BY THE CAMPBELLTOWN COUNCIL'S ENGINEER SHALL BE CARRIED OUT AT THE FOLLOWING STAGES:
  - PRIOR TO INSTALLATION OF EROSION AND SEDIMENT CONTROL STRUCTURES
  - PRIOR TO BACKFILLING PIPELINES, SUBSOIL DRAINS AND DAMS
  - PRIOR TO CASTING OF PITS AND OTHER CONCRETE STRUCTURES, INCLUDING KERB AND GUTTER BUT FOLLOWING PLACEMENT OF FOOTINGS, FORMWORK AND REINFORCEMENT
  - PRIOR TO PLACEMENT OF SUB BASE AND ALL SUBSEQUENT PAVEMENT LAYERS, A PROOF ROLLER TEST OF EACH PAVEMENT LAYER IS REQUIRED
  - FORMWORKS PRIOR TO POURING CONCRETE IN PARKING AREA FOR FOOTPATH CROSSING AND OTHER ASSOCIATED WORK.
  - PRIOR TO BACKFILLING PUBLIC UTILITY CROSSINGS IN ROAD RESERVES
  - FINAL INSPECTION AFTER ALL WORKS ARE COMPLETED AND 'WORK AS EXECUTED' PLANS HAVE BEEN SUBMITTED TO COUNCIL
- NO TREES TO BE REMOVED UNLESS APPROVAL IS GRANTED BY COUNCIL'S LANDSCAPE COMPLIANCE OFFICER.
- MAKE SMOOTH JUNCTIONS WITH EXISTING WORKS.
- NO WORK TO BE CARRIED OUT ON COUNCIL PROPERTY OR ADJOINING PROPERTIES WITHOUT THE WRITTEN PERMISSION FROM THE OWNER/S.
- VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION.
- ALL RUBBISH, BUILDINGS, SHEDS AND FENCES TO BE REMOVED TO SATISFACTION OF COUNCIL'S ENGINEER.
- THE CONTRACTOR SHALL OBTAIN ALL LEVELS FROM ESTABLISHED BENCH MARKS ONLY.
- PERMANENT SURVEY CO-ORDINATION MARKS MUST BE PLACED WITHIN THE SUBDIVISION IN ACCORDANCE WITH THE SURVEYORS ACT AND REGULATIONS.
- PLACE AND LEVEL NEW S.M.'S TO LPI'S REQUIREMENT IN POSITION AS DIRECTED BY THE CONSULTING SURVEYOR.
- ANY DISCREPENCY TO BE REPORTED TO THE SUPERINTENDENT IMMEDIATELY SO THAT FURTHER INFORMATION MAY BE OBTAINED FROM SMEC.
- THE SITE MUST BE ENCLOSED WITH A SUITABLE TEMPORARY 'A' CLASS TYPE HOARDING OR SECURITY FENCE OF A TYPE APPROVED BY THE CONSENT AUTHORITY. SUCH HOARDING MUST NOT ENCR OACH UPON THE ROAD RESERVE OR OTHER PRIVATE LAND WITHOUT THE WRITTEN CONCURRENCE OF THE AFFECTED PROPERTY OWNER. IF IT IS PROPOSED TO LOCATE SUCH A HOARDING WITHIN ANY PROPERTY OWNED/CONTROLLED BY CAMPBELLTOWN COUNCIL, A PUBLIC ROAD ACTIVITY APPLICATION MUST BE SUBMITTED TO AND APPROVED BY COUNCIL, PRIOR TO THE HOARDING BEING ERECTED.
- CONSTRUCTION ACCESS FROM PUBLIC PLACES I.E., ROADS, RESERVES, PARKS, WALKWAYS AND THE LIKE, OTHER THAN THAT APPROVED BY THIS DEVELOPMENT CONSENT WILL NOT BE PERMITTED WITHOUT THE PRIOR CONSENT OF CAMPBELLTOWN COUNCIL.
- PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE SITE A SIGN (MINIMUM SIZE OF 300mm X 400mm) MUST BE INSTALLED WITHIN THE SITE ADVISING OF THE FOLLOWING:
  - FULL DETAILS OF THE PCA
  - FULL DETAILS OF THE CONSTRUCTION CERTIFICATE
  - FULL DETAILS OF DEVELOPMENT CONSENT, AND
  - FULL DETAILS OF THE BUILDER/CONTRACTOR THE SIGN MUST BE LOCATED WITHIN THE SITE AND CLEARLY VISIBLE AND LEGIBLE FROM THE ROAD FOOTWAY, AND MUST BE DISPLAYED FOR THE DURATION OF THE CONSTRUCTION WORKS.
- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.

EARTHWORKS NOTES:

- EARTHWORKS ARE TO BE CARRIED OUT TO THE SATISFACTION OF THE COUNCIL. UNSUITABLE MATERIALS ARE TO BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING. THE CONTRACTOR IS TO ARRANGE AND MAKE AVAILABLE COMPACTION TESTING RESULTS FOR ALL AREAS THAT CONTAIN FILL IN EXCESS OF 200mm.
- COMPACTION OF EARTHWORKS SHALL CONTINUE UNTIL A DRY DENSITY RATIO OF 95% FOR SITE FILLING AND 100% FOR ROAD PAVEMENT SUBGRADES HAS BEEN ACHIEVED IN ACCORDANCE WITH TEST METHOD AS1289.5.3.1 OR AS1289.5.1.1. THE CONTROL TESTING OF EARTHWORKS SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'. WHERE IT IS PROPOSED TO USE TEST METHOD AS1289.5.8.1 TO DETERMINE THE FIELD DENSITY, A SAND REPLACEMENT METHOD SHALL BE USED TO CONFIRM THE RESULTS.
- THE SUITABLE QUALIFIED GEOTECHNICAL ENGINEER, SHALL HAVE A LEVEL 1 RESPONSIBILITY FOR ALL FILLING AS DEFINED IN APPENDIX B AS3798 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS', AND AT THE END OF THE WORKS SHALL CONFIRM THE EARTHWORKS COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION AND DRAWINGS BY WRITTEN NOTIFICATION.
- IN AREAS TO BE FILLED WHERE THE SLOPE OF THE NATURAL SURFACE EXCEEDS 1(V):4(H), BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY THE COUNCIL.
- ALL BATTERS ARE TO BE SCARIFIED TO A DEPTH OF 50mm TO ASSIST WITH ADHESION OF TOP SOIL TO BATTER FACE.
- PROVIDE MINIMUM 150mm AND MAXIMUM 300mm TOPSOIL ON FOOTPATHS, FILLED AREAS AND ALL OTHER AREAS DISTURBED DURING CONSTRUCTION. TOPSOILED AREAS TO BE STABILISED WITH APPROVED VEGETATION A MAXIMUM OF 14 DAYS AFTER TOPSOILING AND ARE TO BE WATERED TO ENSURE GERMINATION.
- THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION' PRODUCED BY LANDCOM.
- A MINIMUM 1 METRE WIDE, CONTINUOUS STRIP OF COUCH GRASS SHALL BE PLACED BEHIND THE BACK OF ALL KERBS AND OTHER CONCRETE STRUCTURES IMMEDIATELY AFTER THE COMPLETION OF THE FOOTPATH GRADING OR OTHER ELEMENTS AS APPLICABLE, AND SHALL BE MAINTAINED AND REPLACED AS REQUIRED DURING THE CONSTRUCTION MAINTENANCE PERIOD AND MAINTENANCE PERIODS.

SERVICES NOTES:

- SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ENDEAVOUR, NBN CO. AND AS REQUIRED BY SYDNEY WATER CORPORATION.
- EXISTING UNDERGROUND SERVICES SHOWN AS PART OF THIS DRAWING SET HAVE BEEN DIGITALLY PROVIDED OR DIGITISED FROM SURVEY AND DBYD INFORMATION. THIS INFORMATION HAS BEEN SHOWN ONLY TO PROVIDE APPROXIMATE LOCATION OF SERVICES AT THE TIME OF PREPERATION OF THIS DRAWING SET. SERVICES SHALL NOT BE ASSUMED TO BE AS CONSTRUCTED OR ACCURATE. SMEC DOES NOT GUARANTEE OR ACCEPT ANY LIABILITY FOR THEIR PRESENCE OR ABSENCE. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE DBYD SEARCHES AND ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS. ANY VARIATION TO THE INFORMATION ON THIS DRAWING SET IS TO BE REPORTED TO THE SUPERINTENDENT AND SMEC IMMEDIATELY. ALL SEARCH RESULTS TO BE AVAILABLE ON SITE AT ALL TIMES.
- PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY.
- PROPOSED SERVICE CROSSING TO BE THRUST BORED UNDER EXISTING ROAD PAVEMENT. CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING SURFACE.
- ALL SYDNEY WATER HYDRANTS ARE TO BE CLEARLY IDENTIFIABLE BY APPROPRIATE KERB MARKINGS AND BLUE COLOURED RAISED REFLECTIVE PAVEMENT MARKERS PLACED AT THE CENTRELINE OF THE ROAD OPPOSITE THE HYDRANT. THESE PAVEMENT MARKERS ARE TO BE REINSTATED AFTER PLACEMENT OF THE FINAL LAYER OF ASPHALTIC CONCRETE AND PRIOR TO THE RELEASE OF THE ROAD SURFACING BOND.
- CONTRACTOR TO INSTALL ELECTRICAL, NBN AND GAS DUCT CROSSINGS TO RELEVANT AUTHORITY STANDARDS. CONTRACTOR TO SURVEY & CERTIFY COVER TO EACH ROAD DUCT CROSSING AS GIVEN ON THE APPROVED ELECTRICAL PLAN. LEVELS & CERTIFICATION TO BE PROVIDED TO SMEC FOR CONFIRMATION AND SUBMISSION OF W.A.E. LEVELS TO ENDEAVOUR ENERGY FOR CERTIFICATION. ALTERNATIVELY, CONTACT SMEC ONE DAY PRIOR TO TRENCH BEING OPEN AND/OR BACKFILLED FOR CERTIFICATION.

ROADWORKS NOTES:

- SUBGRADES AND SUB BASES ARE TO BE COMPACTED IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATION.
- SUBSOIL DRAINS TO BE PROVIDED ON BOTH SIDES OF ROADS (EXCEPT WHERE THERE IS STORMWATER DRAINAGE).
- 150 x 50 H.D. GALVANISED STEEL KERB OUTLETS TO BE PLACED IN ALL KERB TYPES ON LOW SIDE OF LOTS. PROVIDE SUITABLE ADAPTOR TO ALL O.W. CONNECTION OF 90mm DIAMETER STORMWATER PIPE.
- LIPLESS PERAMBULATOR CROSSINGS ARE TO BE PROVIDED IN ALL KERB RETURNS AND WHERE REQUIRED BY COUNCIL.
- SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ALL PUBLIC UTILITY AUTHORITIES INCLUDING ENDEAVOUR ENERGY, NBN CO. AND SYDNEY WATER
- PROPOSED UTILITIES AND SERVICES CROSSING EXISTING ROADS SHALL BE PROVIDED FOR USING A TRENCHLESS TECHNIQUE SO AS NOT TO DAMAGE THE EXISTING SURFACE. ALL SERVICE CONDUITS UNDER ROADS MUST BE LAID TO A MINIMUM DEPTH OF 750mm.
- CONCRETE FOOTPATH CONSTRUCTION IS TO BE BONDED WITH COUNCIL PENDING COMPLETION OF UTILITY/SERVICES AND SURROUNDING DWELLINGS.
- ALL TEMPORARY ROADS MUST BE TEMPORARILY SEALED WITH A SINGLE COAT FLUSH SEAL.
- ALL PERMANENT ROADS MUST BE SEALED WITH A SINGLE COAT FLUSH SEAL AND 50mm OF AC TO BE APPLIED IN TWO 25mm THICK LAYERS. THE FINAL AC LAYER IS TO BE AC 10 AND IS TO BE BONDED AND PLACED FOLLOWING APPROVAL FROM COUNCIL.
- SIGNPOSTING AND LINE MARKING SHALL CONFORM TO AS1742.2 'TRAFFIC CONTROL DEVICES FOR GENERAL USE'. RAISED RETRO-REFLECTIVE PAVEMENT MARKERS TO CONFORM TO AS1906 'RETRO-REFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES'. ALL APRONS AND KERB FACE ON CENTRAL ISLANDS OF ROUNDABOUTS AND ALL OTHER ISLANDS TO BE DELINEATED BY REFLECTIVE WHITE MARKING. INSTALLATION SHALL OCCUR IN ACCORDANCE WITH THE PLAN APPROVED BY THE LOCAL TRAFFIC COMMITTEE.
- ALL LOT AND HOUSE NUMBERS MUST BE STENCILED ON KERB FACE.
- STREET SIGNS TO COUNCIL STANDARD MUST BE INSTALLED BY THE CONTRACTOR.

STORMWATER NOTES:

- ALL PIPES TO BE SPIGOT AND SOCKET, RUBBER RING JOINTED.
- ALL LONGITUDINAL PIPELINES IN ROADS MUST BE LOCATED UNDER KERB AND GUTTER AND BE BACKFILLED WITH APPROVED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- DRAINAGE LINES MUST BE BACKFILLED WITH APPROVED GRANULAR MATERIAL IN TRAFFICABLE AREAS. THREE (3) METRES OF SUBSOIL DRAINAGE WRAPPED IN GEOTEXTILE STOCKING MUST BE PROVIDED TO ALL DOWNSTREAM PITS.
- ALL GULLY PITS TO COUNCIL'S STANDARD AND LINTELS CENTRALLY PLACED AT SAG PITS.
- ALL PITS MUST BE BENCHED AND STREAMLINED. PROVIDE SL72 REINFORCEMENT AND GALVANISED STEP IRONS IN ALL PITS OVER 12 METRES DEEP AS MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE PIT.
- CONCRETE IS TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 32MPa AT 28-DAYS UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- ALL INTERALLOTMENT DRAINAGE MUST HAVE A MINIMUM PIPE DIAMETER OF 150mm AND A MINIMUM GRADE OF 1% UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
- ALL INTERALLOTMENT DRAINAGE LINES MUST BE LAID CENTRALLY WITHIN DRAINAGE EASEMENTS. INSPECTION PITS MUST BE PROVIDED AT ALL CHANGES OF GRADE AND DIRECTION.
- INTERALLOTMENT DRAINAGE LINES MUST BE INSTALLED AFTER SYDNEY WATER SEWERAGE LINES HAVE BEEN INSTALLED WHERE SEWER IS PROPOSED ADJACENT TO INTERALLOTMENT DRAINAGE LINES.
- ADEQUATE PROVISION IS TO BE MADE TO PREVENT SCOURING AND SEDIMENTATION FOR ALL DRAINAGE WORKS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
- PIT LINTELS ARE TO BE STENCILED WITH APPLICABLE DISTINCTION STENCIL AVAILABLE FROM COUNCIL.
- CATCH DRAINS MUST BE CONSTRUCTED AS REQUIRED BY THE APPROVED PLANS OR THE PRINCIPAL CERTIFYING AUTHORITY.
- SOIL AND WATER MANAGEMENT PLANS ARE TO BE PREPARED FOR ALL DISTURBED SITES AND ADHERED TO AT ALL TIMES DURING THE CONSTRUCTION AND MAINTENANCE PERIODS.

GEOTECHNICAL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY, AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION. MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL IS TO BE UNDERTAKEN ON A REGULAR BASIS & AS PER COUNCIL'S DIRECTION.
- TESTS SHALL BE UNDERTAKEN ON ANY PROPOSED FILL MATERIALS TO ENSURE THAT THEY DO NOT HAVE A HIGH DISPERSION POTENTIAL AS DEFINED BY THE EMERSON CRUMB/DISPERSION TESTS (AS1289 C8-1980).
- ALL FILL SHALL BE COMPACTED TO NOT LESS THAN 95% OF STANDARD MAXIMUM DRY DENSITY AT -3% TO +3% OF STANDARD OPTIMUM MOISTURE CONTENT (MAXIMUM FILL HORIZONS OF 150mm TO 200mm). ALL AREAS WHICH HAVE TEST RESULTS LESS THAN 98% STANDARD SHOULD BE REWORKED AND RETESTED TO ENSURE COMPLIANCE, IN ACCORDANCE WITH A.S.A. 1289 TESTS 12 AND 13.
- ALL FILL AREAS TO BE SURVEYED AT STRIPPING AND FINAL STAGES AND LEVELS SHOWN ON PLAN SHADED, (TOGETHER WITH CROSS SECTIONS AT MAXIMUM 20m C/C) AT WORKS-AS-EXECUTED STAGE AND CONTROLLED BY A REGISTERED SURVEYOR. 88B INSTRUMENT REQUIRED FOR ALL LOTS FILLED WITHIN THE BUILDING LINE.
- ALL EARTHWORKS SHALL BE CONTROLLED AND CERTIFIED BY A N.A.T.A. REGISTERED LABORATORY. TWO COLLATED COPIES OF ALL TEST CERTIFICATES, ACCOMPANIED BY AN OVERALL SITE PLAN, CLEARLY INDICATING THE LOCATION OF EACH TEST AND FILL AREAS ETC., AND THE LABORATORY CERTIFICATE COVERING THE WHOLE OF THE AREA TESTED ARE TO BE FORWARDED TO COUNCIL UPON COMPLETION. TESTING IS TO BE TO LEVEL 1 AS3798 APPENDIX B2(A).
- ALL RESIDENTIAL LOTS SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH THE LATEST EDITION OF THE GUIDELINES IN THE AUSTRALIAN STANDARD FOR RESIDENTIAL SLABS AND FOOTINGS AS 2870. PROVIDE TWO COPIES OF REPORT TO COUNCIL.

DETERMINED by the New South Wales Land & Housing Corporation on:

20/6/2021



THE ESSENTIAL FIRST STEP. LEGALISED 1ST JULY 2010, NSW. FINE UP TO \$22,000 FOR INDIVIDUALS & \$440,000 FOR CORPORATIONS. MAX. 5 YEARS' JAIL SENTENCE.

X\_300177343\_SMEC\_01

DRAWING FILE LOCATION / NAME				PLOT DATE		TIME	
X:\Projects\300177\300177343.5\11_CAD\Drawg\02_DA\300177343.05.DA002.dwg				30 Apr 2021		08:25:03	
EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
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	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING
	03	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGNER	L. RYAN
	04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING
	05	29/04/2021	REVISED DEVELOPMENT APPLICATION	020	GF	PROJECT MANAGER	G. FLEMING
						PROJECT DIRECTOR	C. MILES

SCALES AT A1 SIZE DRAWING			

DESIGNER	
 Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMEC PROJECT No. 300177343.5	

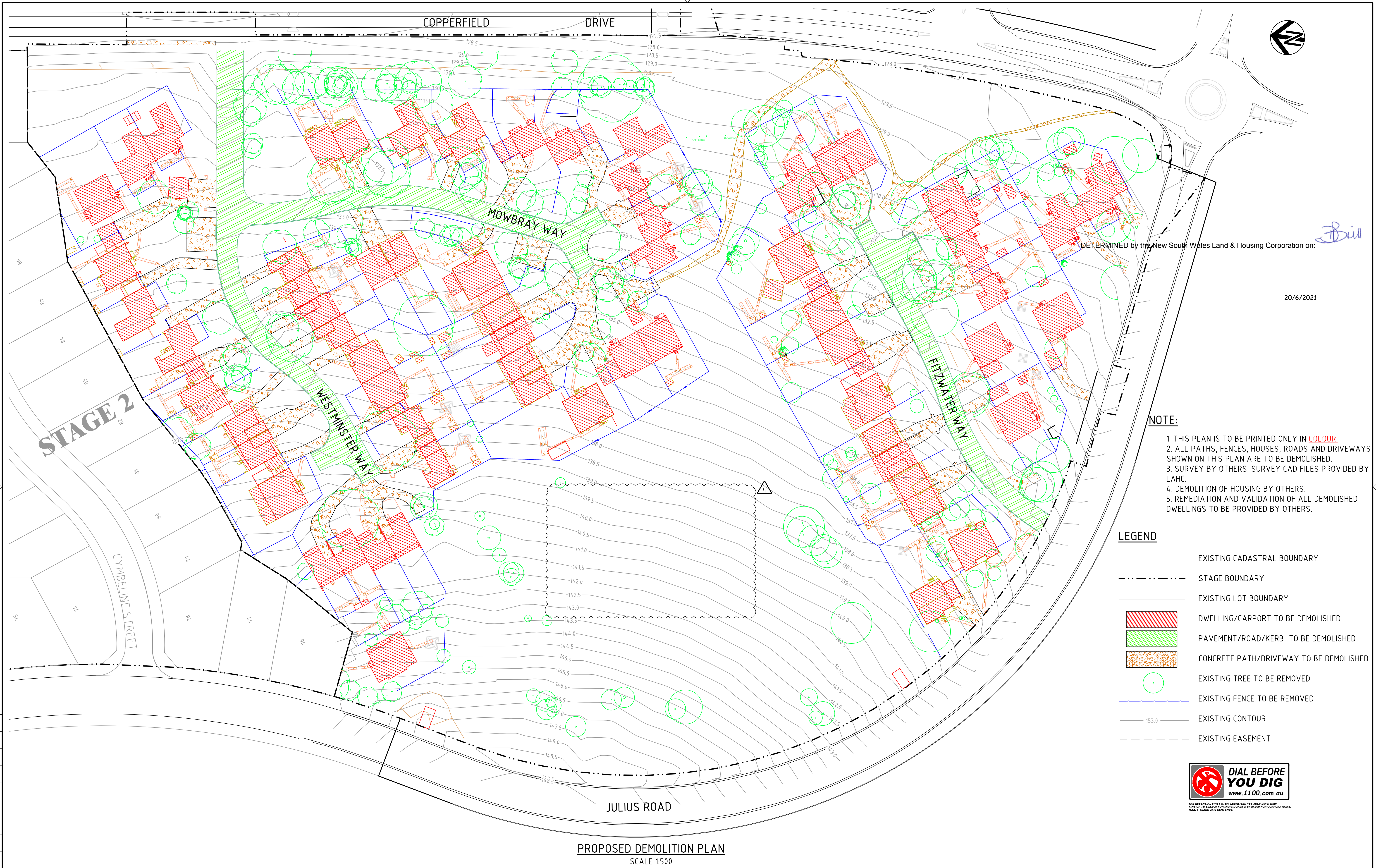
CLIENT: LAND AND HOUSING CORPORATION	
 	

PROJECT TITLE CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 SHEET SCHEDULE & NOTES			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300177343.05.DA002	REVISION 05





150 mm ON ORIGINAL

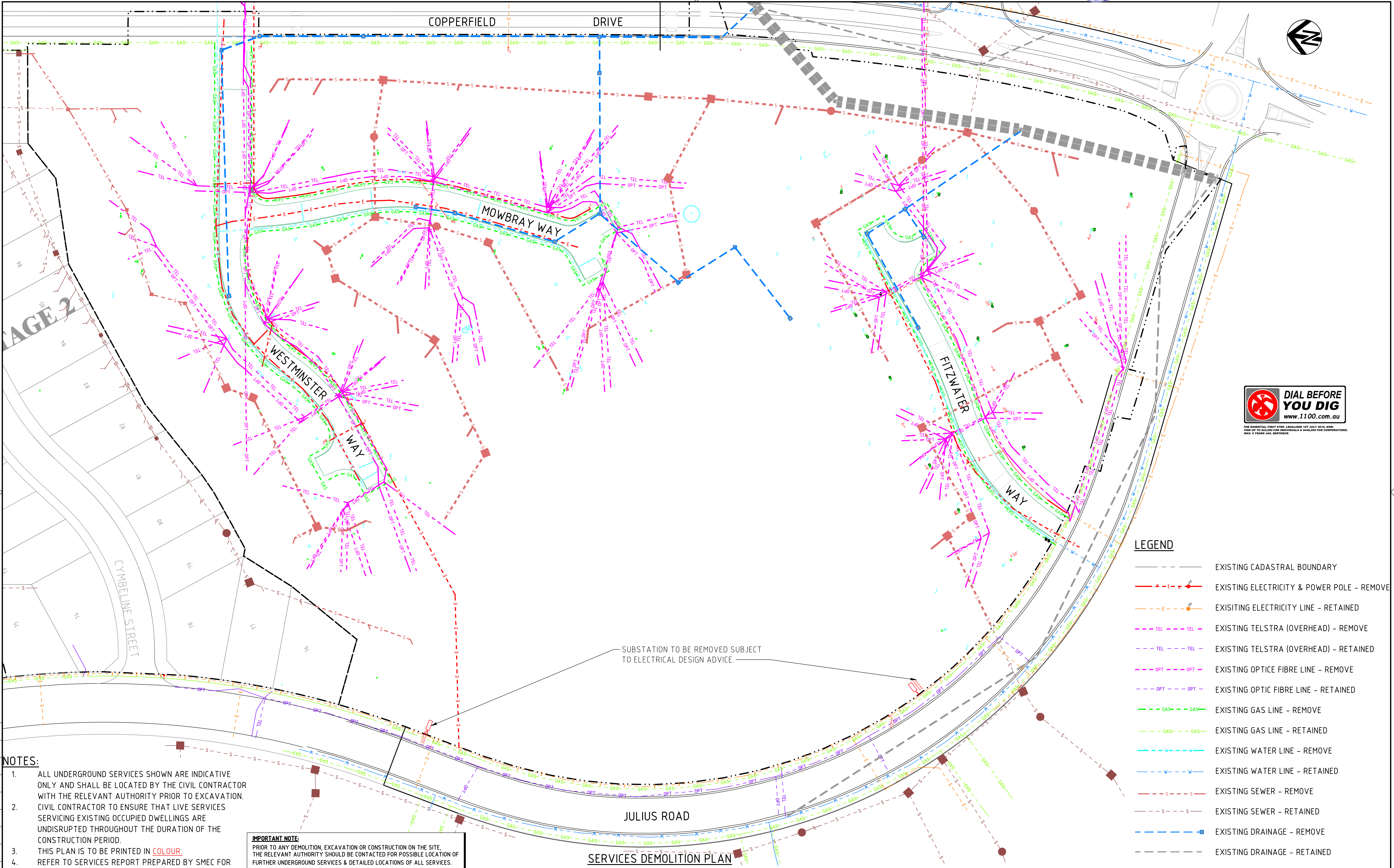
A1



PROPOSED DEMOLITION PLAN  
SCALE 1:500

DRAWING FILE LOCATION / NAME P:\Projects\Jobs\70thousands\7734.3.5\11.CAD\Dwg\02_DA\300177343.05.DA011.dwg				PLOT DATE 16 Dec 2020		TIME 13:42:38	
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	01	28/02/2017	DEVELOPMENT APPLICATION ISSUE	003	CH	DRAFTER	Z. KHALIL
	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING
	03	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGNER	L. RYAN
	04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING
						PROJECT MANAGER	G. FLEMING
						PROJECT DIRECTOR	C. MILES
SCALES AT A1 SIZE DRAWING				DESIGNER			
SCALE 1:500				 Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMC PROJECT No. 300177343.5			
				CLIENT: LAND AND HOUSING CORPORATION			
				 Family & Community Services			
PROJECT TITLE CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 DEMOLITION PLAN				SCALE AS NOTED			
				PHASE PRELIMINARY			
				PROJECT / DRAWING No. 300177343.05.DA011			
				REVISION 04			





DRAWING FILE LOCATION / NAME P:\Projects\Jobs\70thousands\77343.5\11.CAD\Dwg\02_DA\300177343.05.DA012.dwg				PLOT DATE 16 Dec 2020		TIME 13:43:10	
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	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING
	03	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGNER	L. RYAN
	04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING
						PROJECT MANAGER	G. FLEMING
						PROJECT DIRECTOR	C. MILES
SCALES AT A1 SIZE DRAWING				DESIGNER			
SCALE 1500				<b>SMEC</b> Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMEC PROJECT No. 300177343.5			
				CLIENT: LAND AND HOUSING CORPORATION			
				<b>Family &amp; Community Services</b>			
PROJECT TITLE CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 SERVICES DEMOLITION PLAN				SCALE AS NOTED			
				PHASE PRELIMINARY			
				PROJECT / DRAWING No. 300177343.05.DA012			
				REVISION 04			



Diagram illustrating a road layout with a lot, road boundary, path, roll kerb, road, and another road boundary.

BOUNDARY

14.0m ROAD RESERVE

3.0m VERGE

0.6

1.2

4.0m

4.0m

2.5%

3%

2.5%

DESIGN C

BOUNDARY

PROPOSED 1.2m PATH. PAVING TO COUNCIL STANDARD

STANDARD ROLL TYPE KERB BOTH SIDES. 1.0m WIDE TURF STRIP BEHIND KERB BOTH SIDES.

EXTEND SUB-BASE 200mm BEHIND KERB BOTH SIDES

BOUNDARY

14.0m ROAD RESERVE

3.0m VERGE

4.0m

4.0m

1.2m

1.2m

0.6m

2.5%

3%

3%

2.5%





DESIGN LEVEL

STANDARD ROLL TYPE KERB BOTH SIDES. 1.0m WIDE TURF STRIP BEHIND KERB BOTH SIDES.

PROPOSED 1.2m PATH. PAVING TO COUNCIL STANDARD

EXTEND SUB-BASE 200mm BEHIND KERB BOTH SIDES

A1 150 mm ON ORIGINAL

DRAWING FILE LOCATION / NAME P:\Projects\Jobs\70thousands\77343.5\11_CAD\Wdg\02_DA\300177343.05.DA041.dwg										PLOT DATE 16 Dec 2020		TIME 13:43:36											
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X_300177343_05 X_300177343_11 X_300177343_12 X_300177343_13 X_300177343_14 X_300177343_15	01	28/02/2017	DEVELOPMENT APPLICATION ISSUE	003	CH	DRAFTER	Z. KHALIL	<div>SCALE 1:100</div>  <div>SCALE 1:200</div> 	<div></div> <div>Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW. 2150 PH +61 2 9900 7100  SMC PROJECT No. 300177343.5</div>	<div></div> <div>Family &amp; Community Services</div>	CAMPBELLTOWN CITY COUNCIL ROSEMEADOW – STAGE 3 TYPICAL ROAD CROSS SECTION												
	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING																
	03	11/09/2017	LAHC AMENDMENTS	005	CH	DESIGNER	L. RYAN																
	04	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGN CHECK	G. FLEMING																
	05	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	PROJECT MANAGER	G. FLEMING																
						PROJECT DIRECTOR	C. MILES																
SCALE		PHASE		PROJECT / DRAWING No.		REVISION																	
AS NOTED		PRELIMINARY		300177343.05.DA041		05																	





DETERMINED by the New South Wales Land & Housing Corporation on:

20/6/2021

Bill

DRIVE

COPPERFIELD

195  
(DRAINAGE RESERVE)

L.O.W

EXISTING  
STAGE 2  
EXISTING  
STAGE 2

ROAD



### Surface Analysis: Cut and Fill Depths

Number	Color	Minimum Depths (m)	Maximum Depths (m)
1	Red	-4.0	-3.5
2	Red	-3.5	-3.0
3	Brown	-3.0	-2.5
4	Orange	-2.5	-2.0
5	Yellow	-2.0	-1.5
6	Yellow	-1.5	-1.0
7	Orange	-1.0	-0.5
8	Yellow	-0.5	0.0
9	Light Green	0.0	0.5
10	Light Green	0.5	1.0
11	Light Green	1.0	1.5
12	Blue	1.5	2.0
13	Blue	2.0	2.5
14	Blue	2.5	3.0

### BULK EARTHWORKS - AREAS & VOLUMES:

SUMMARY STAGE 3:  
SURFACE AREA = 5.2ha  
CUT = 18 690m<sup>3</sup>  
FILL = 17 545m<sup>3</sup>  
EXPORT FILL = 1 190m<sup>3</sup>

### LEGEND:

--- CUT/FILL LINE

### NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW EARTHWORK QUANTITIES PROPOSED AS PART OF THE DEVELOPMENT APPLICATION.
2. THE QUANTITIES PROVIDED ARE THE DIFFERENCE IN LEVEL BETWEEN DESIGN AND NATURAL SURFACE (ONLY).
3. DEDUCTION OF BOXING OF ROADS, EXCESS TRENCH SPOIL, STRIPPING OF TOPSOIL SHALL BE CONSIDERED TO CONFIRM FINAL QUANTITIES.
4. FOR GENERAL NOTES REFER DRAWING No. 300177343.05.DA002.

### CUT AND FILL PLAN

SCALE 1:500

DRAWING FILE LOCATION / NAME  
P:\Projects\Jobs\70thousands\77343.5\11.CAD\DWG\02\_DA\300177343.05.DA051.dwg

PLOT DATE  
16 Dec 2020


TIME  
13:44:12

EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
X_300177343_SHEC.dwg	01	28/02/2017	DEVELOPMENT APPLICATION ISSUE	003	CH	DRAFTER	Z. KHALIL
X_300177343_CUTFILL	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING
X_300177343_SURV	03	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGNER	L. RYAN
X_300177343_BURY	04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING
X_300177343_EX_ROAD						PROJECT MANAGER	G. FLEMING
X_300177343_CADAST						PROJECT DIRECTOR	C. MILES

WVR No.	APPROVAL	TITLE	NAME
003	CH	DRAFTER	Z. KHALIL
004	CH	DRAFTING CHECK	G. FLEMING
010	CH	DESIGNER	L. RYAN
018	GF	DESIGN CHECK	G. FLEMING
		PROJECT MANAGER	G. FLEMING
		PROJECT DIRECTOR	C. MILES

SCALES AT A1 SIZE DRAWING
SCALE 1:500
5 0 10 20

DESIGNER

 **SMC**

Member of the Surbana Jurong Group  
© ABN 47 065 475 149  
LEVEL 6, 3 HORWOOD PLACE  
PARRAMATTA NSW, 2150  
PH +61 2 9900 7100  
SMC PROJECT No. 300177343.5

CLIENT: LAND AND HOUSING CORPORATION

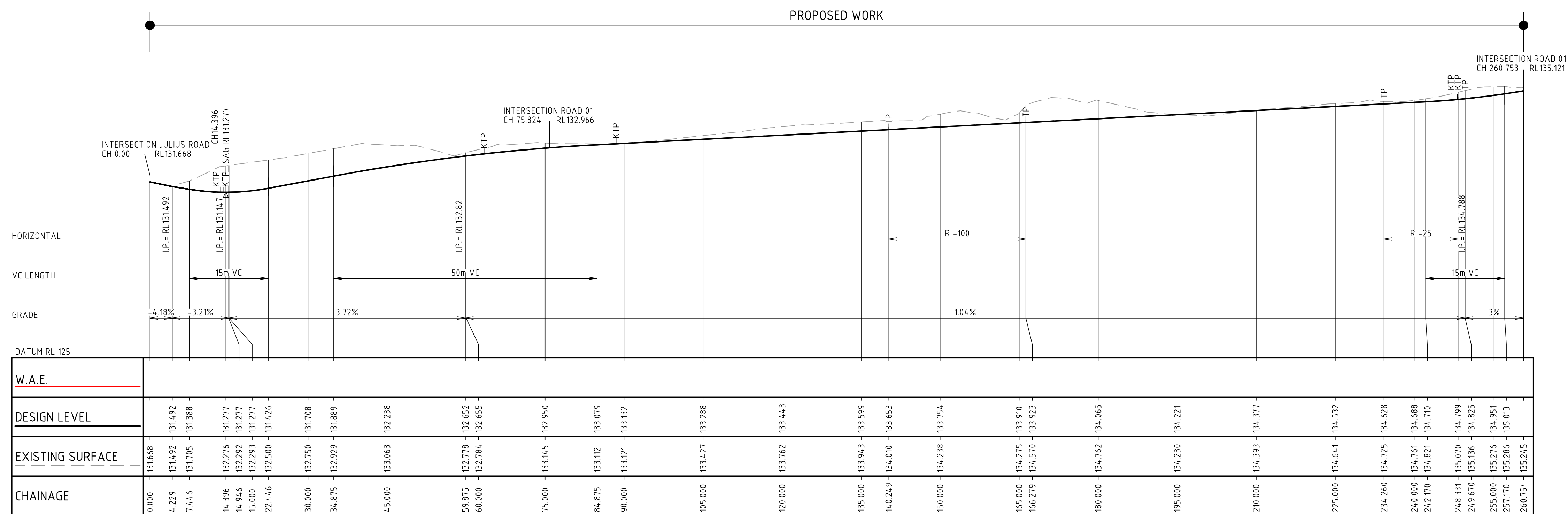
 **Family & Community Services**

PROJECT TITLE	CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 CUT AND FILL PLAN
SCALE	AS NOTED
PHASE	PRELIMINARY
PROJECT / DRAWING No.	300177343.05.DA051
REVISION	04

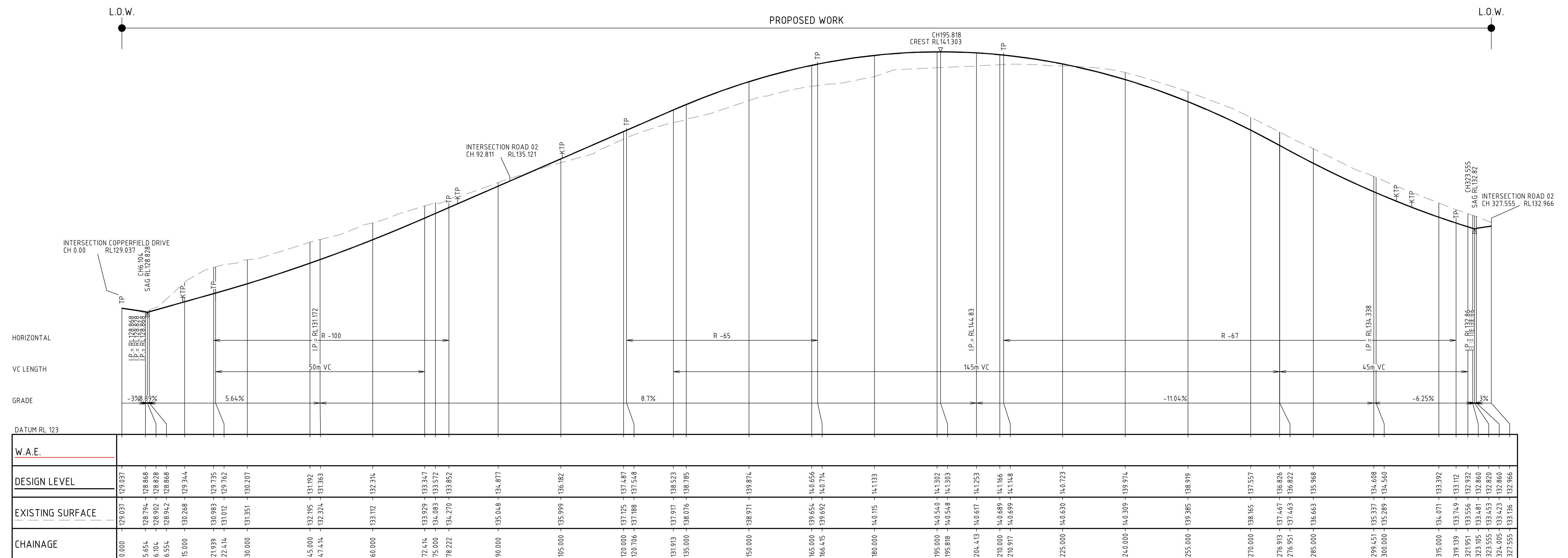




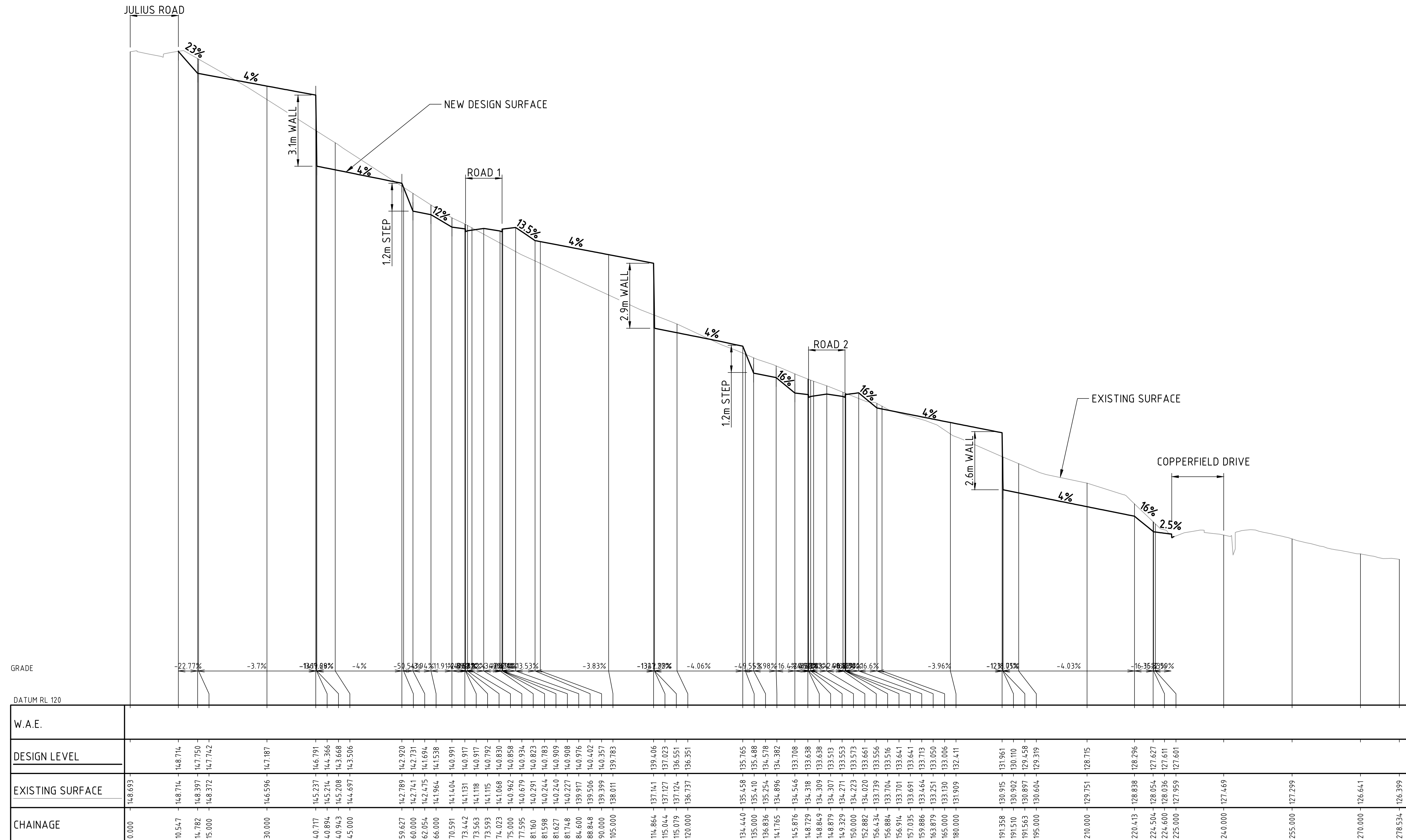




DETERMINED by the New South Wales Land & Housing Corporation on:





DRAWING FILE LOCATION / NAME  
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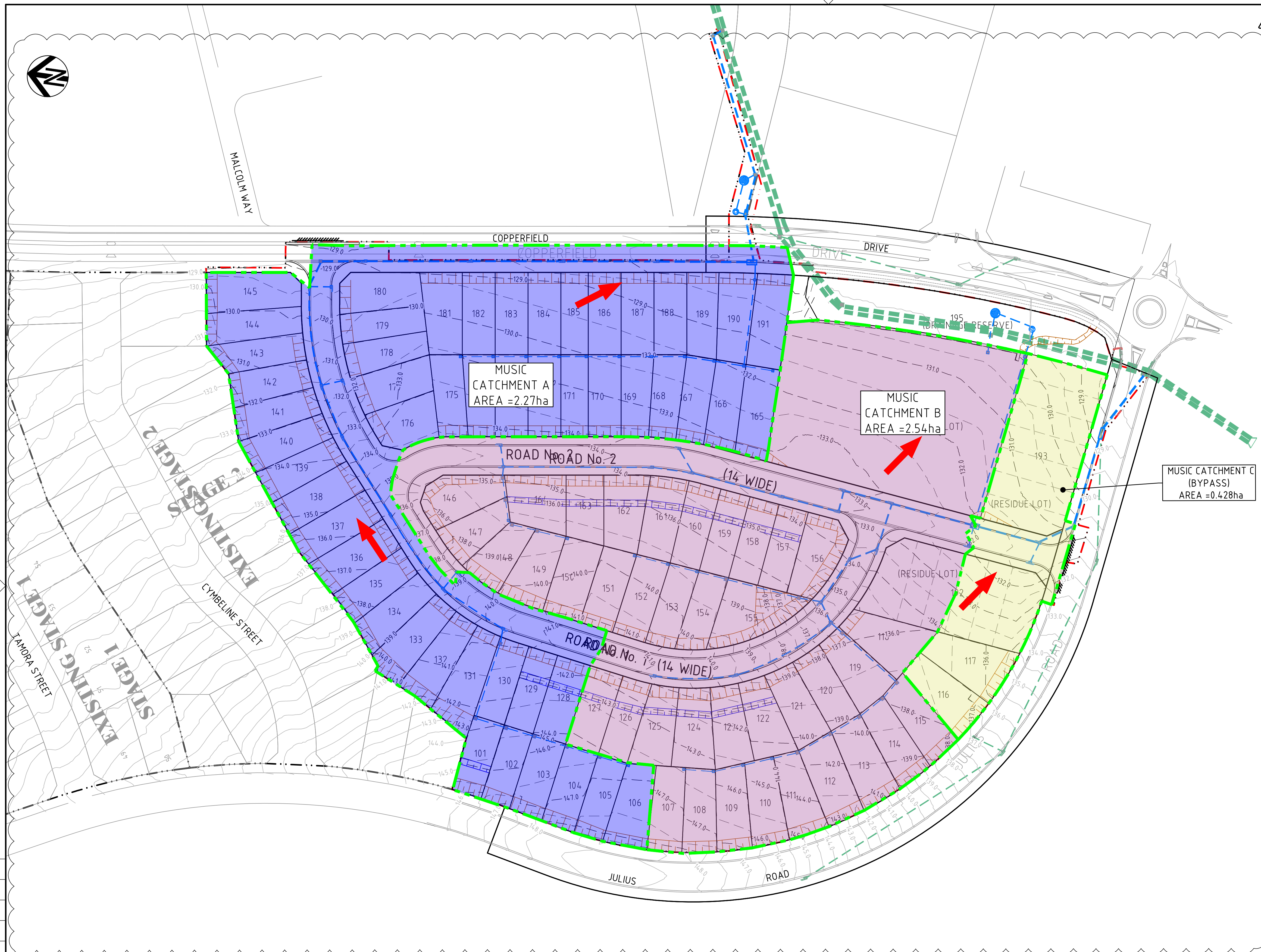


SECTION A

1:500 HORI  
1:100 VERT

DRAWING FILE LOCATION / NAME P:\Projects\Jobs\70thousands\77343.5\11. CAD\W02\02_DA\300177343.05.DA251.dwg						PLOT DATE 16 Dec 2020		TIME 13:42:59					
EXTERNAL REFERENCE FILES		REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME	SCALES AT A1 SIZE DRAWING  HORIZ. 1:500 VERT. 1:100	<div>DESIGNER <b>SMC</b> Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW. 2150 PH +61 2 9900 7100 <b>SMC PROJECT No. 300177343.5</b></div>	<div>CLIENT: LAND AND HOUSING CORPORATION <b>Family &amp; Community Services</b></div>	PROJECT TITLE CAMPBELLTOWN CITY COUNCIL ROSEMEADOW – STAGE 3 SECTION A	
SCALE AS NOTED		PHASE PRELIMINARY	PROJECT / DRAWING No. 300177343.05.DA251	REVISION 04									
		01	28/02/2017	DEVELOPMENT APPLICATION RE-ISSUE	BM	CH	DRAFTER	Z. KHALIL					
		02	25/08/2017	REVISED DEVELOPMENT APPLICATION	010	CH	DRAFTING CHECK	G. FLEMING					
		03	25/06/2018	REVISED DEVELOPMENT APPLICATION	12	C.M	DESIGNER	L. RYAN					
		04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING					
							PROJECT MANAGER	G. FLEMING					
							PROJECT DIRECTOR	C. MILES					





LEGEND

- 
- Legend:
- EXISTING CADASTRAL BOUNDARY (dashed line)
  - EXISTING CONTOUR (solid line with elevation 53.0)
  - DESIGN CONTOUR (dashed line with elevation 53.0)
  - ROAD BOUNDARY (solid line)
  - LOT BOUNDARY (solid line)
  - FUTURE LOT BOUNDARY (dashed line)
  - DRAINAGE PIPE WITH PIT (blue line with square and car icon)
  - DRAINAGE PIPE WITH PIT (EXISTING) (green dashed line with square and car icon)
  - FLOW DIRECTION (red arrow pointing left)
  - MUSIC CATCHMENT A (blue hatched area)
  - MUSIC CATCHMENT B (pink hatched area)
  - MUSIC CATCHMENT C (yellow hatched area)

DETERMINED by the New South Wales Land & Housing Corporation on:

Bill

20/6/2021



**THE ESSENTIAL FIRST STEP. LEGALISED 1ST JULY 2010, NSW.  
FINE UP TO \$22,000 FOR INDIVIDUALS & \$440,000 FOR CORPORATIONS.  
MAX. 5 YEARS JAIL SENTENCE.**

## MUSIC CATCHMENT PLAN

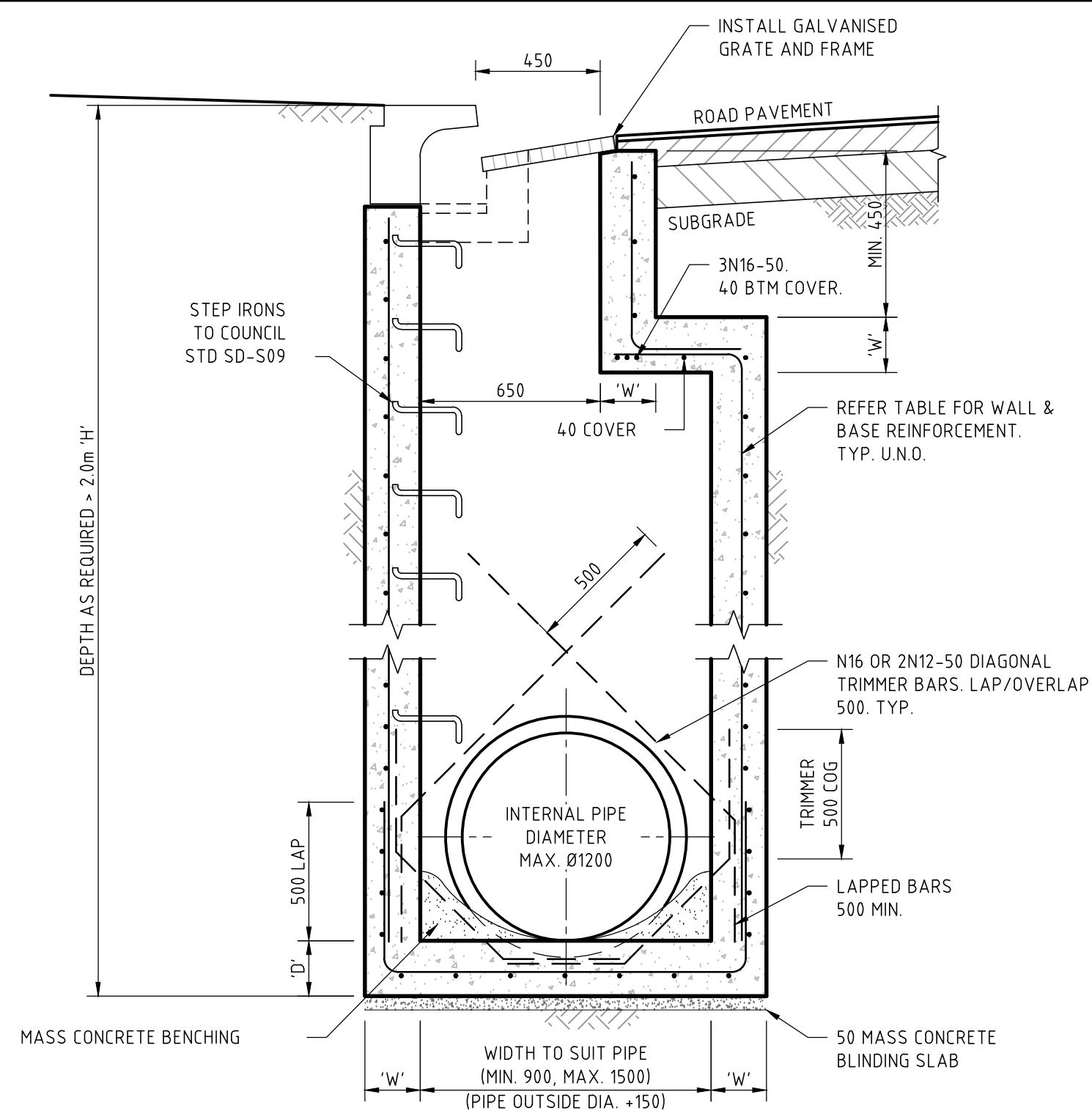
SCALE 1:750

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<div><div>X-300177343_02-XR001_Model_DWG</div><div>X-300177343_02-SURV-DRAWING</div><div>X-300177343_02-BODY-CADD</div><div>X-300177343_02-SURF-DWG</div><div>X-300177343_02-XR001_Model_DWG</div><div>X-300177343_02-XR002_Body</div><div>X-300177343_02-XR003_DRN</div><div>X-300177343_02-XR004_DRN</div><div>X-300177343_02-XR005_DRN</div><div>X-300177343_02-XR006_DRN</div><div>X-300177343_02-XR007_DRN</div><div>X-300177343_02-XR008_DRN</div><div>X-300177343_02-XR009_DRN</div><div>X-300177343_02-XR010_DRN</div><div>X-300177343_02-XR011_DRN</div><div>X-300177343_02-XR012_DRN</div><div>X-300177343_02-XR013_DRN</div><div>X-300177343_02-XR014_DRN</div><div>X-300177343_02-XR015_DRN</div><div>X-300177343_02-XR016_DRN</div><div>X-300177343_02-XR017_DRN</div><div>X-300177343_02-XR018_DRN</div><div>X-300177343_02-XR019_DRN</div><div>X-300177343_02-XR020_DRN</div><div>X-300177343_02-XR021_DRN</div><div>X-300177343_02-XR022_DRN</div><div>X-300177343_02-XR023_DRN</div><div>X-300177343_02-XR024_DRN</div><div>X-300177343_02-XR025_DRN</div><div>X-300177343_02-XR026_DRN</div><div>X-300177343_02-XR027_DRN</div><div>X-300177343_02-XR028_DRN</div><div>X-300177343_02-XR029_DRN</div><div>X-300177343_02-XR030_DRN</div><div>X-300177343_02-XR031_DRN</div><div>X-300177343_02-XR032_DRN</div><div>X-300177343_02-XR033_DRN</div><div>X-300177343_02-XR034_DRN</div><div>X-300177343_02-XR035_DRN</div><div>X-300177343_02-XR036_DRN</div><div>X-300177343_02-XR037_DRN</div><div>X-300177343_02-XR038_DRN</div><div>X-300177343_02-XR039_DRN</div><div>X-300177343_02-XR040_DRN</div><div>X-300177343_02-XR041_DRN</div><div>X-300177343_02-XR042_DRN</div><div>X-300177343_02-XR043_DRN</div><div>X-300177343_02-XR044_DRN</div><div>X-300177343_02-XR045_DRN</div><div>X-300177343_02-XR046_DRN</div><div>X-300177343_02-XR047_DRN</div><div>X-300177343_02-XR048_DRN</div><div>X-300177343_02-XR049_DRN</div><div>X-300177343_02-XR050_DRN</div><div>X-300177343_02-XR051_DRN</div><div>X-300177343_02-XR052_DRN</div><div>X-300177343_02-XR053_DRN</div><div>X-300177343_02-XR054_DRN</div><div>X-300177343_02-XR055_DRN</div><div>X-300177343_02-XR056_DRN</div><div>X-300177343_02-XR057_DRN</div><div>X-300177343_02-XR058_DRN</div><div>X-300177343_02-XR059_DRN</div><div>X-300177343_02-XR060_DRN</div><div>X-300177343_02-XR061_DRN</div><div>X-300177343_02-XR062_DRN</div><div>X-300177343_02-XR063_DRN</div><div>X-300177343_02-XR064_DRN</div><div>X-300177343_02-XR065_DRN</div><div>X-300177343_02-XR066_DRN</div><div>X-300177343_02-XR067_DRN</div><div>X-300177343_02-XR068_DRN</div><div>X-300177343_02-XR069_DRN</div><div>X-300177343_02-XR070_DRN</div><div>X-300177343_02-XR071_DRN</div><div>X-300177343_02-XR072_DRN</div><div>X-300177343_02-XR073_DRN</div><div>X-300177343_02-XR074_DRN</div><div>X-300177343_02-XR075_DRN</div><div>X-300177343_02-XR076_DRN</div><div>X-300177343_02-XR077_DRN</div><div>X-300177343_02-XR078_DRN</div><div>X-300177343_02-XR079_DRN</div><div>X-300177343_02-XR080_DRN</div><div>X-300177343_02-XR081_DRN</div><div>X-300177343_02-XR082_DRN</div><div>X-300177343_02-XR083_DRN</div><div>X-300177343_02-XR084_DRN</div><div>X-300177343_02-XR085_DRN</div><div>X-300177343_02-XR086_DRN</div><div>X-300177343_02-XR087_DRN</div><div>X-300177343_02-XR088_DRN</div><div>X-300177343_02-XR089_DRN</div><div>X-300177343_02-XR090_DRN</div><div>X-300177343_02-XR091_DRN</div><div>X-300177343_02-XR092_DRN</div><div>X-300177343_02-XR093_DRN</div><div>X-300177343_02-XR094_DRN</div><div>X-300177343_02-XR095_DRN</div><div>X-300177343_02-XR096_DRN</div><div>X-300177343_02-XR097_DRN</div><div>X-300177343_02-XR098_DRN</div><div>X-300177343_02-XR099_DRN</div><div>X-300177343_02-XR100_DRN</div><div>X-300177343_02-XR101_DRN</div><div>X-300177343_02-XR102_DRN</div><div>X-300177343_02-XR103_DRN</div><div>X-300177343_02-XR104_DRN</div><div>X-300177343_02-XR105_DRN</div><div>X-300177343_02-XR106_DRN</div><div>X-300177343_02-XR107_DRN</div><div>X-300177343_02-XR108_DRN</div><div>X-300177343_02-XR109_DRN</div><div>X-300177343_02-XR110_DRN</div><div>X-300177343_02-XR111_DRN</div><div>X-300177343_02-XR112_DRN</div><div>X-300177343_02-XR113_DRN</div><div>X-300177343_02-XR114_DRN</div><div>X-300177343_02-XR115_DRN</div><div>X-300177343_02-XR116_DRN</div><div>X-300177343_02-XR117_DRN</div><div>X-300177343_02-XR118_DRN</div><div>X-300177343_02-XR119_DRN</div><div>X-300177343_02-XR120_DRN</div><div>X-300177343_02-XR121_DRN</div><div>X-300177343_02-XR122_DRN</div><div>X-300177343_02-XR123_DRN</div><div>X-300177343_02-XR124_DRN</div><div>X-300177343_02-XR125_DRN</div><div>X-300177343_02-XR126_DRN</div><div>X-300177343_02-XR127_DRN</div><div>X-300177343_02-XR128_DRN</div><div>X-300177343_02-XR129_DRN</div><div>X-300177343_02-XR130_DRN</div><div>X-300177343_02-XR131_DRN</div><div>X-300177343_02-XR132_DRN</div><div>X-300177343_02-XR133_DRN</div><div>X-300177343_02-XR134_DRN</div><div>X-300177343_02-XR135_DRN</div><div>X-300177343_02-XR136_DRN</div><div>X-300177343_02-XR137_DRN</div><div>X-300177343_02-XR138_DRN</div><div>X-300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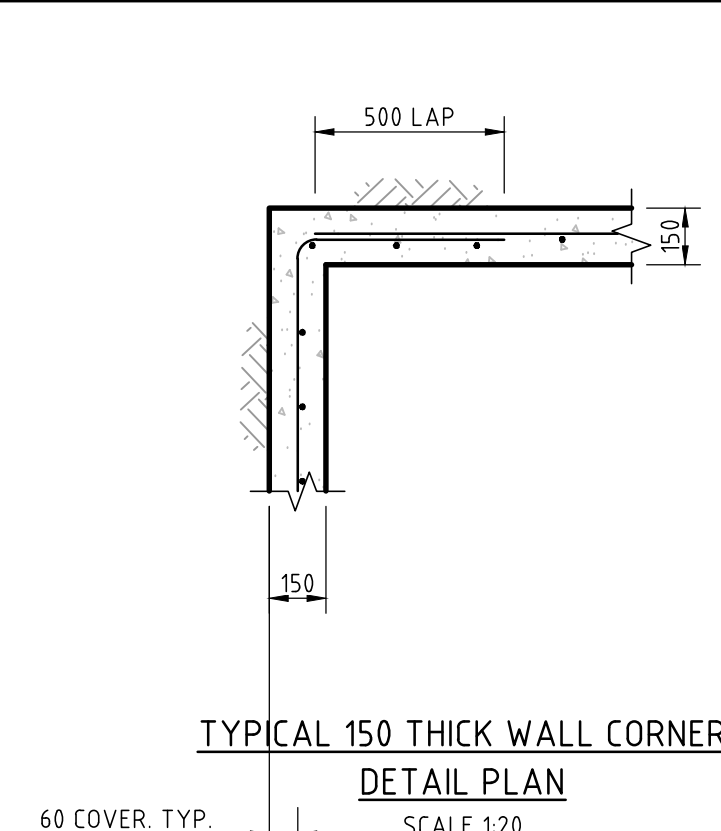




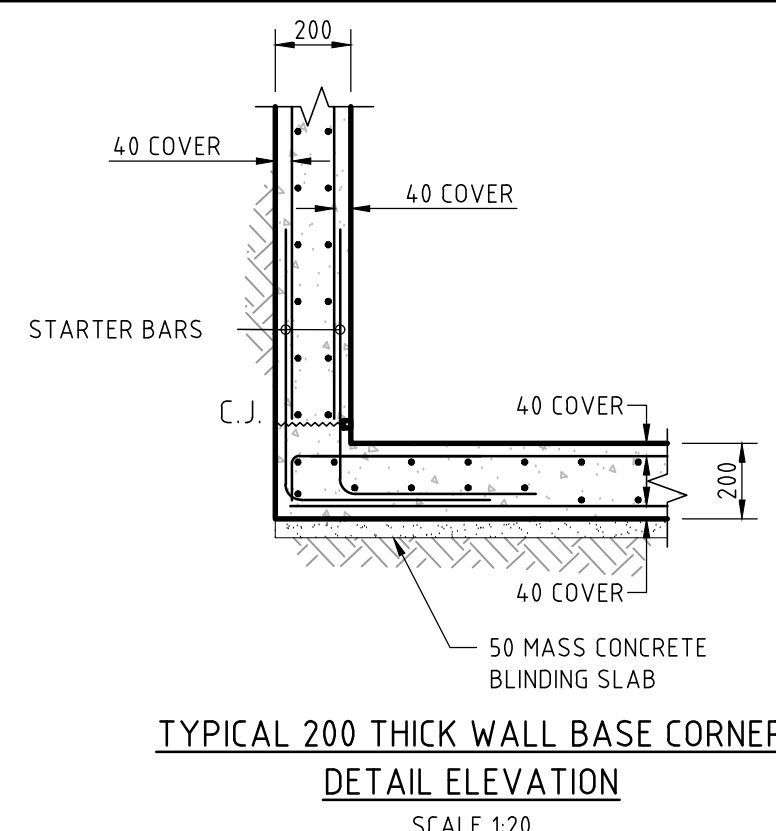


**TYPICAL KERB INLET PIT DEEPER THAN 2.0m**

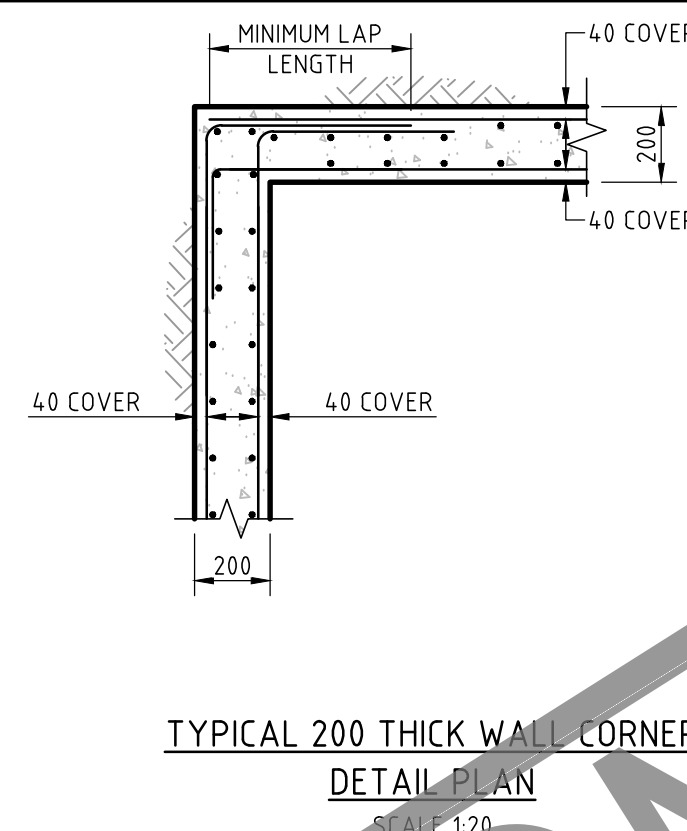
SCALE 1:20  
NOTE: 150 THICK WALL SHOWN, 200 THICK WALL AND BASE SIMILAR.  
SEE TABLE FOR REINFORCEMENT.

**TYPICAL 150 THICK WALL CORNER**

DETAIL PLAN  
SCALE 1:20

**TYPICAL 200 THICK WALL BASE CORNER**

DETAIL ELEVATION  
SCALE 1:20

**TYPICAL 200 THICK WALL CORNER**

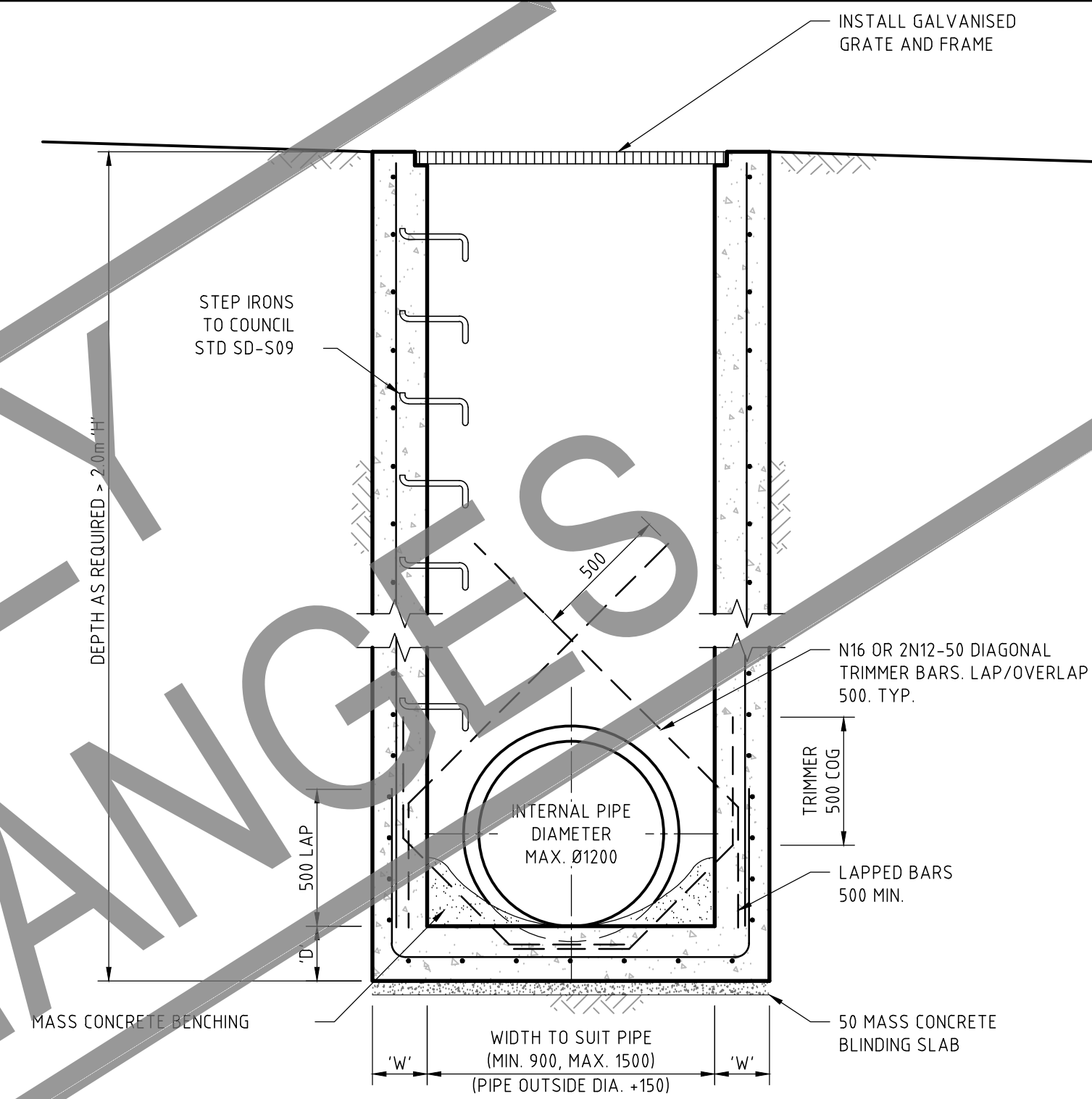
DETAIL PLAN  
SCALE 1:20

**PIT REINFORCEMENT DETAILS:**

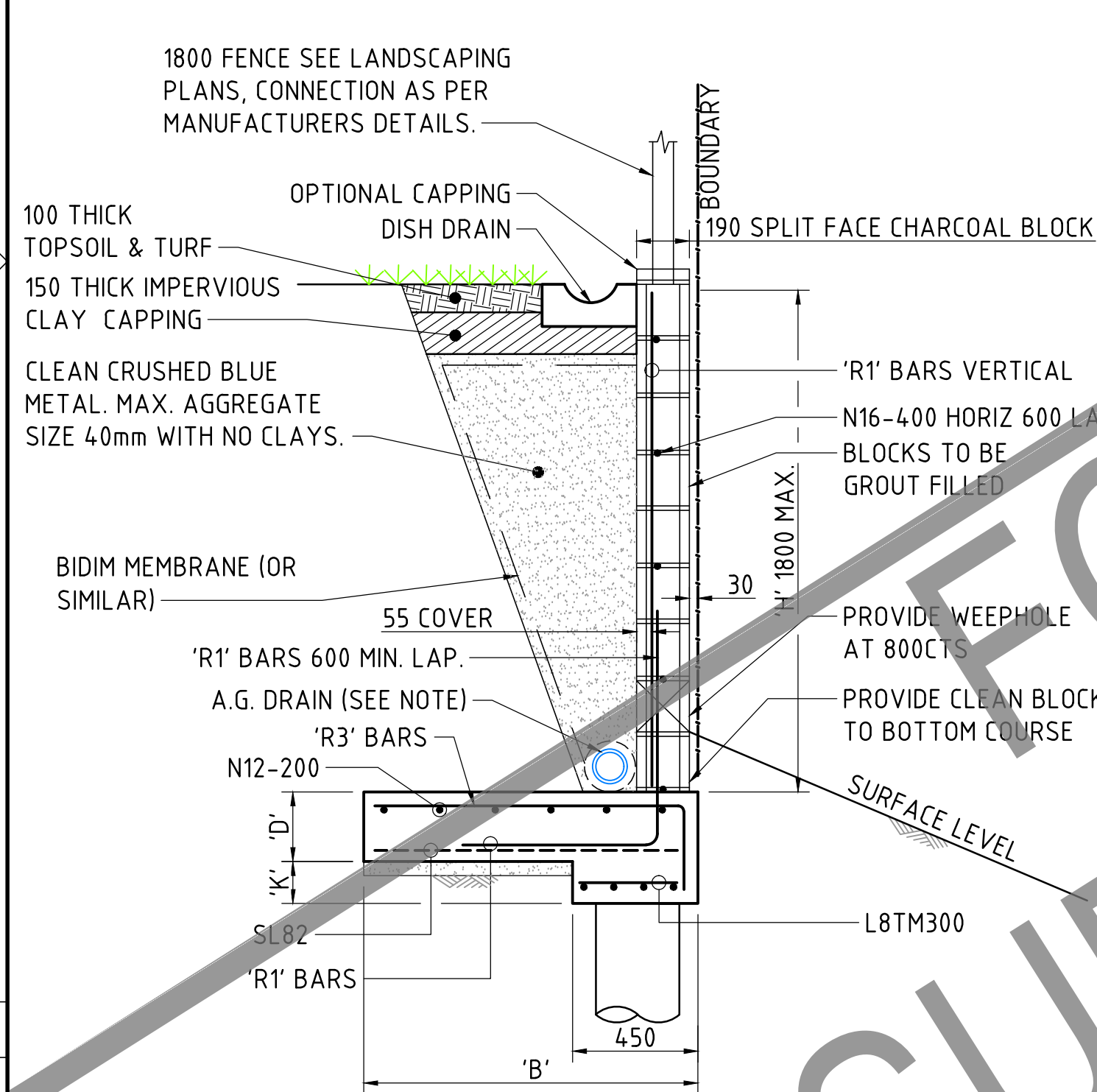
PIT DEPTH 'H'	WALL & CEILING THICKNESS 'W'	BASE THICKNESS 'D'	WALL, BASE & CEILING REINFORCEMENT	STARTER BARS
2.0m - 4.0m	150	150	N12-150	N12-150
4.0m - 6.0m	200	200	N12-150 EACH WAY EACH FACE	N12-150 EACH FACE

**NOTES:**

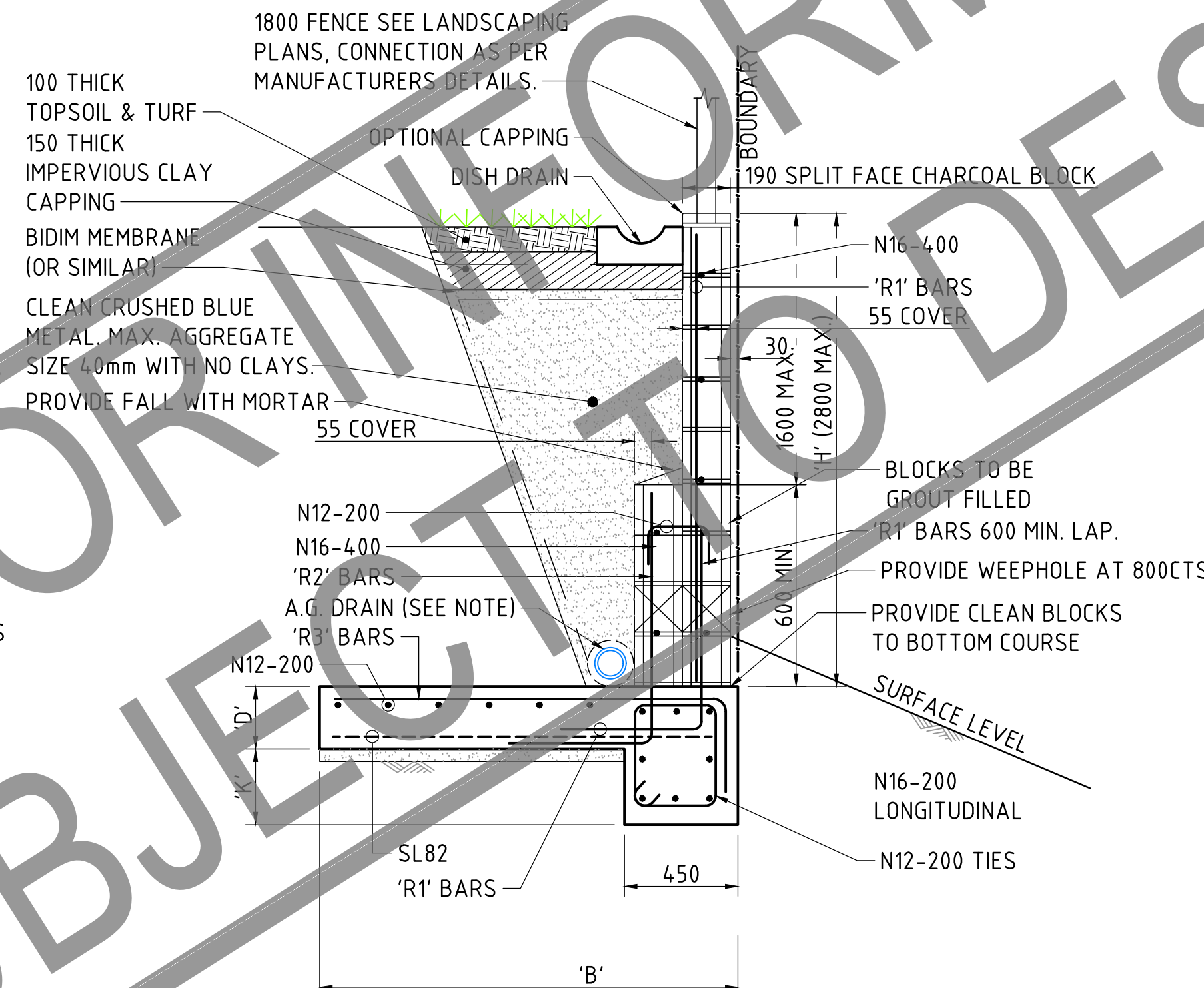
- 60mm COVER TO ALL FACES UNO.
- LAP ALL BARS 500 INTO ADJOINING WALLS UNO.
- CONCRETE SPEC. STRENGTH  $f'c = 32MPa$  @ 28 DAYS WITH SLUMP OF 65-75mm
- STEP IRONS TO BE PROVIDED FOR PITS DEEPER THAN 12m SEE COUNCIL STANDARD DRAWING SD-S09
- 50mm DIAMETER SUBSOIL DRAINAGE PIPE 3.0m LONG WRAPPED IN FILTER SODD TO BE PROVIDED IN PIPE TRENCHES UPSTREAM OF PIT
- CONTRACTOR TO ENSURE CLEARANCE BETWEEN BETWEEN LINTEL AND OPENED GRATE
- REINFORCEMENTS: 'N' GRADE REINFORCEMENT SHALL BE  $F_y=500MPa$  AND LAPPED 500mm MIN.
- SEEPAGE HOLES ARE TO BE PROVIDED IN THE WALL OF ALL PITS TO ACCEPT FLOWS FROM PIPE BEDDING.
- MEASUREMENTS ARE IN MILLIMETERS UNO.
- ALL PRECAST UNITS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION AND THE PROJECT SPECIFICATION ON ALL PITS WITHIN ROAD RESERVE TO BE CAST IN-SITU.
- GROUND BEARING CAPACITY 150kPa TO 3m, 250kPa OVER 3m.
- WORK TO BE IN ACCORDANCE WITH RELEVANT STANDARDS
- KERB INLET PITS FOR PIPES UP TO 1050mm DIAMETER ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL DRAWING SD-S06.
- INSTALL SL82 MESH IN ALL WALLS AND FLOORS WHERE PIT DEPTH GREATER THAN 15m IN ACCORDANCE WITH COUNCIL DRAWING SD-S06

**TYPICAL PIT DEEPER THAN 2.0m**

SCALE 1:20  
NOTE: 150 THICK WALL SHOWN, 200 THICK WALL AND BASE SIMILAR.  
SEE TABLE FOR REINFORCEMENT.

**RETAINING WALL TYPE 'A'**

SCALE 1:20  
THE RETAINING WALL STRUCTURE ARE  
TO REMAIN ENTIRELY WITHIN THE  
SUBJECT RESIDENTIAL LOT.

**RETAINING WALL TYPE 'B'**

SCALE 1:20  
THE RETAINING WALL STRUCTURE ARE  
TO REMAIN ENTIRELY WITHIN THE  
SUBJECT RESIDENTIAL LOT.

DETERMINED by the New South Wales Land & Housing Corporation on:

Bill

**RETAINING WALL SCHEDULE TYPE A & B:**

WALL HEIGHT 'H'	≤800	≤1000	≤1400	≤1800	≤2200	≤2800
RETAINING WALL TYPE	'A'	'A'	'A'	'A'	'B'	'B'
FOOTING BREADTH 'B'	950	1100	1400	1700	2000	2400
FOOTING DEPTH 'D'	250	250	250	250	250	250
KEY DEPTH 'K'	250	250	250	250	300	300
'R1' BARS	N12-400	N12-400	N16-400	N16-200	N16-400	N16-400
'R2' BARS	-	-	-	-	N16-200	N16-200
'R3' BARS	N12-200	N16-200	N16-200	N16-200	N16-200	N16-200

NOTE: HEIGHT OF WALL SHOULD NOT EXCEED 1800mm & 2800mm RESPECTIVELY. WALLS GREATER THAN 2.8 TO BE DESIGNED INDIVIDUALLY.

**NOTES:**

- REINFORCEMENT IN MAIN DRAIN TO BE CUT AND FORMED INTO COLLAR CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO PIPE AND TO ENSURE SIZE IS KEPT TO A MINIMUM.
- TYPICAL 500mm OVERLAP ON U BARS.

20/6/2021

DRAWING FILE LOCATION / NAME  
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PLOT DATE  
16 Dec 2020

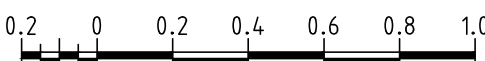
TIME  
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REVISION	REV	DATE	AMENDMENT / REVISION DESCRIPTION
	01	28/02/2017	DEVELOPMENT APPLICATION ISSUE
	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE
	03	12/01/2018	REVISED DEVELOPMENT APPLICATION
	04	16/05/2018	REVISED DEVELOPMENT APPLICATION
	05	26/11/2020	REVISED DEVELOPMENT APPLICATION

WVR No.	APPROVAL	TITLE	NAME
003	CH	DRAFTER	Z. KHALIL
004	CH	DRAFTING CHECK	G. FLEMING
010	CH	DESIGNER	L. RYAN
011	JE	DESIGN CHECK	G. FLEMING
018	GF	PROJECT MANAGER	G. FLEMING
		PROJECT DIRECTOR	C. MILES

SCALES AT A1 SIZE DRAWING

SCALE 1:20



DESIGNER

**SMEC**  
Member of the Surbana Jurong Group  
© ABN 47 065 475 149  
LEVEL 6, 3 HORWOOD PLACE  
PARRAMATTA NSW, 2150  
PH +61 2 9900 7100  
SMEC PROJECT No. 300177343.5

CLIENT: LAND AND HOUSING CORPORATION

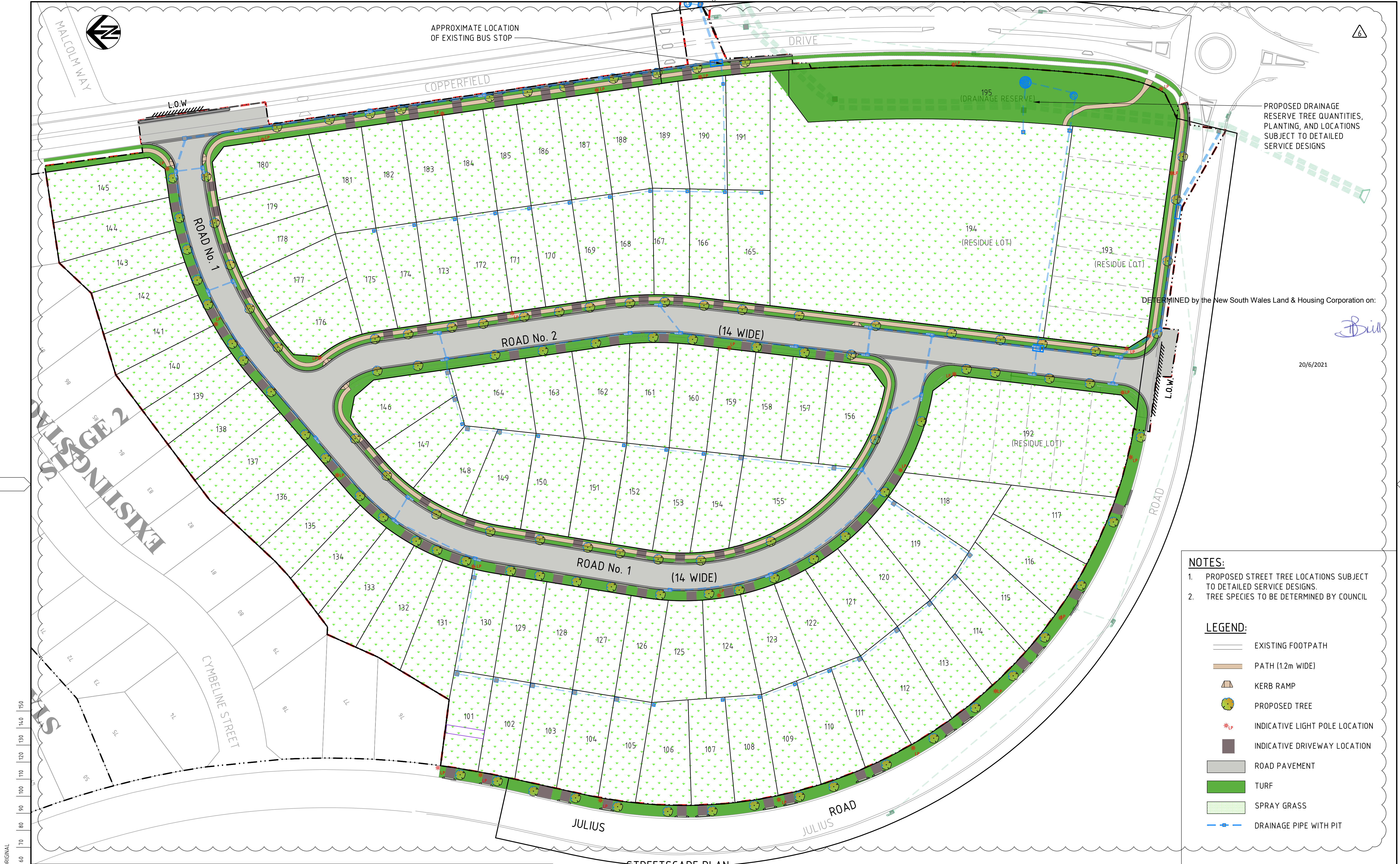


**Family & Community Services**

PROJECT TITLE  
CAMPBELLTOWN CITY COUNCIL  
ROSEMEADOW - STAGE 3  
STRUCTURAL DETAILS

SCALE	PHASE	PROJECT / DRAWING No.	REVISION
AS NOTED	PRELIMINARY	300177343.05.DA651	05

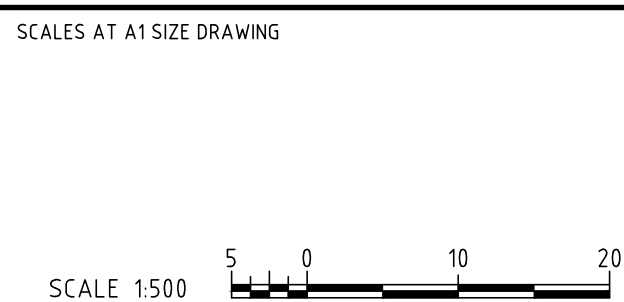




150 mm ON ORIGINAL  
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	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	
	03	11/09/2017	LAHC AMENDMENTS	005	
	04	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	
	05	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	
	06	03/12/2020	REVISED DEVELOPMENT APPLICATION	019	

STREETSCAPE PLAN  
SCALE 1:500



DESIGNER

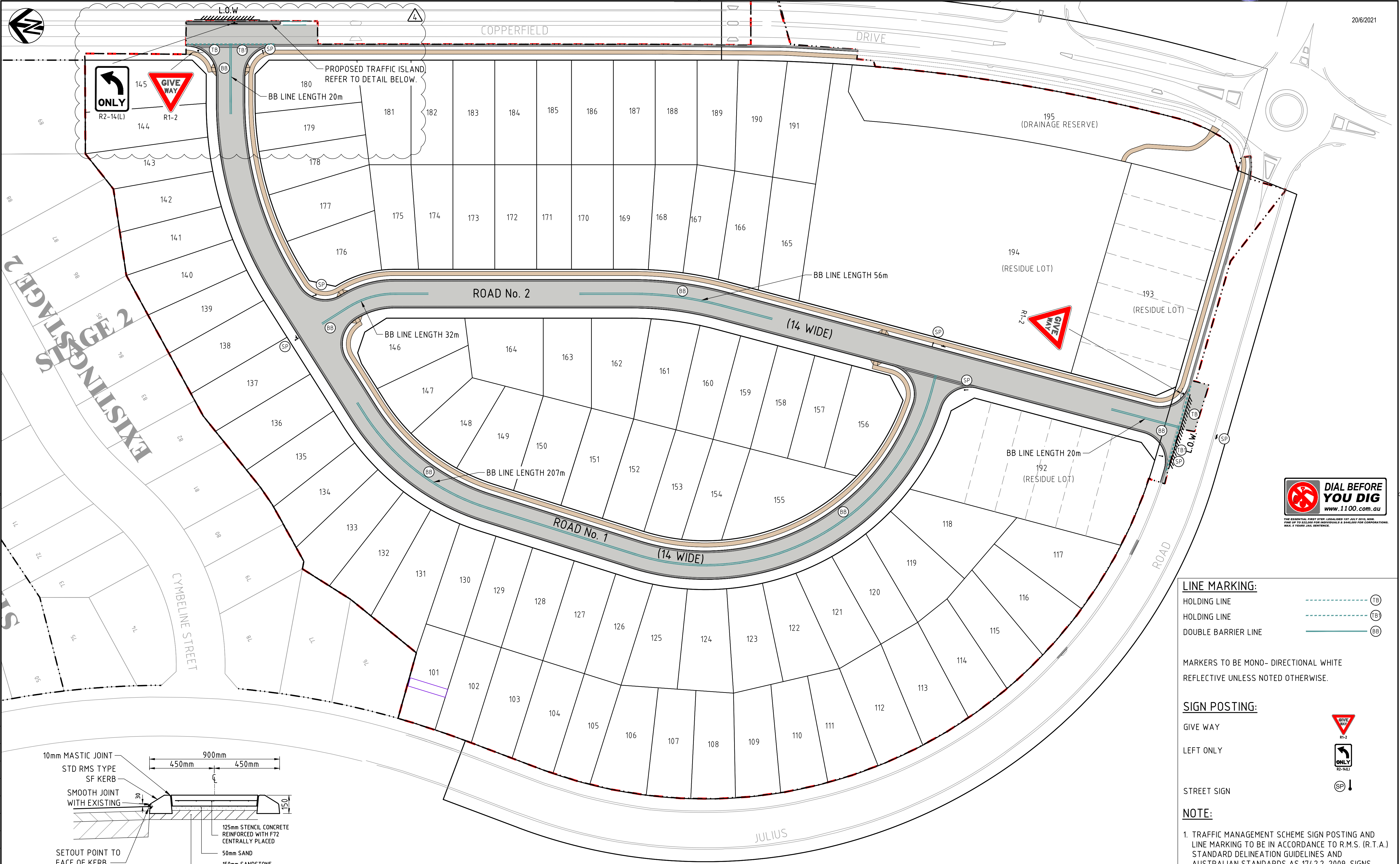
Member of the Surbana Jurong Group  
© ABN 47 065 475 149  
LEVEL 6, 3 HORWOOD PLACE  
PARRAMATTA NSW, 2150  
PH +61 2 9900 7100  
SMC PROJECT No. 300177343.5

CLIENT: LAND AND HOUSING CORPORATION

Family & Community Services

PROJECT TITLE		PROJECT / DRAWING No.		REVISION
CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 STREETSCAPE PLAN		300177343.05.DA701		06
SCALE	PHASE			
AS NOTED	PRELIMINARY			





LINE MARKING:

HOLDING LINE		(TB)
HOLDING LINE		(TB)
DOUBLE BARRIER LINE		(BB)

MARKERS TO BE MONO- DIRECTIONAL WHITE REFLECTIVE UNLESS NOTED OTHERWISE.

SIGN POSTING:

GIVE WAY	
LEFT ONLY	
STREET SIGN	




NOTE:

1. TRAFFIC MANAGEMENT SCHEME SIGN POSTING AND LINE MARKING TO BE IN ACCORDANCE TO R.M.S. (R.T.A.) STANDARD DELINEATION GUIDELINES AND AUSTRALIAN STANDARDS AS 1742.2-2009. SIGNS SHOWN ARE DIAGRAMMATIC ONLY.
2. REFER TO TRAFFIC REPORT REF 17002 PREPARED BY VARGA TRAFFIC PLANNING FOR FURTHER REFERENCE.

TRAFFIC ISLAND DETAIL

LINE MARKING AND SIGN POSTING PLAN

SCALE 1:500

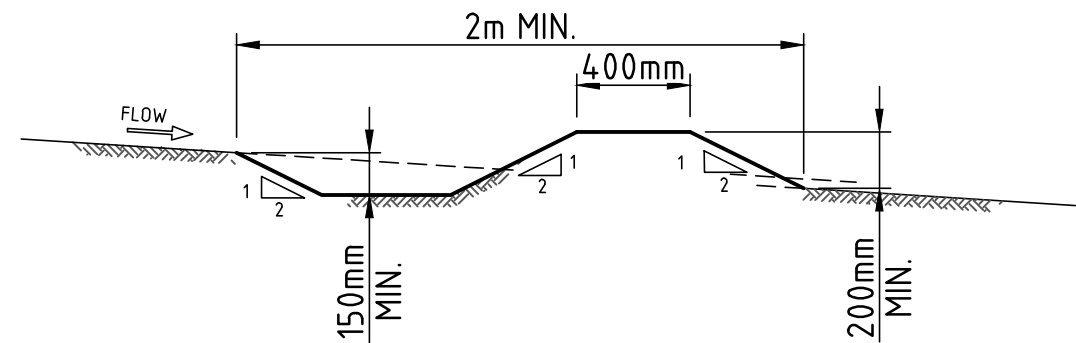
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EXTERNAL REFERENCE FILES				REV	DATE	AMENDMENT / REVISION DESCRIPTION		WVR No.	APPROVAL	TITLE	NAME	SCALES AT A1 SIZE DRAWING		DESIGNER	CLIENT: LAND AND HOUSING CORPORATION		PROJECT TITLE	
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				02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE		004	CH	DRAFTING CHECK	G. FLEMING							
				03	12/01/2018	REVISED DEVELOPMENT APPLICATION		010	CH	DESIGNER	L. RYAN							
				04	26/11/2020	REVISED DEVELOPMENT APPLICATION		018	GF	DESIGN CHECK	G. FLEMING							
				PROJECT MANAGER		G. FLEMING												
				PROJECT DIRECTOR		C. MILES												
				SCALE	AS NOTED	PHASE	PRELIMINARY	PROJECT / DRAWING No.		300177343.05.DA801		REVISION	04					







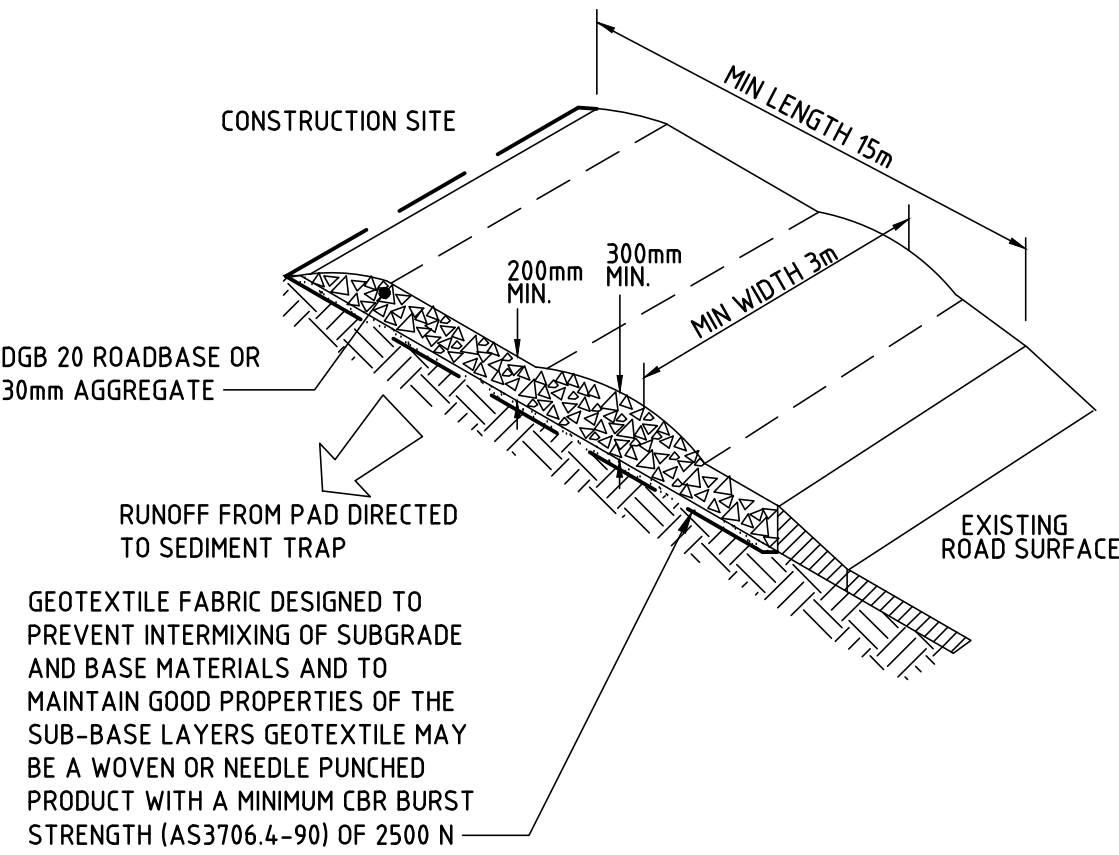
150 mm ON ORIGINAL  
A1  
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



**EARTH BANK (LOW FLOW)**  
SCALE N.T.S

**CONSTRUCTION NOTES:**

- BUILD WITH GRADIENTS BETWEEN 1% - 5%.
- AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
- ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
- BUILD THE DRAINS WITH CIRCULAR, PARABLOIC OR TRAPEZOIDAL CROSS SECTIONS, NOT V-SHAPED.
- ENSURE THE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
- COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.



**STABILISED SITE ACCESS**  
N.T.S.

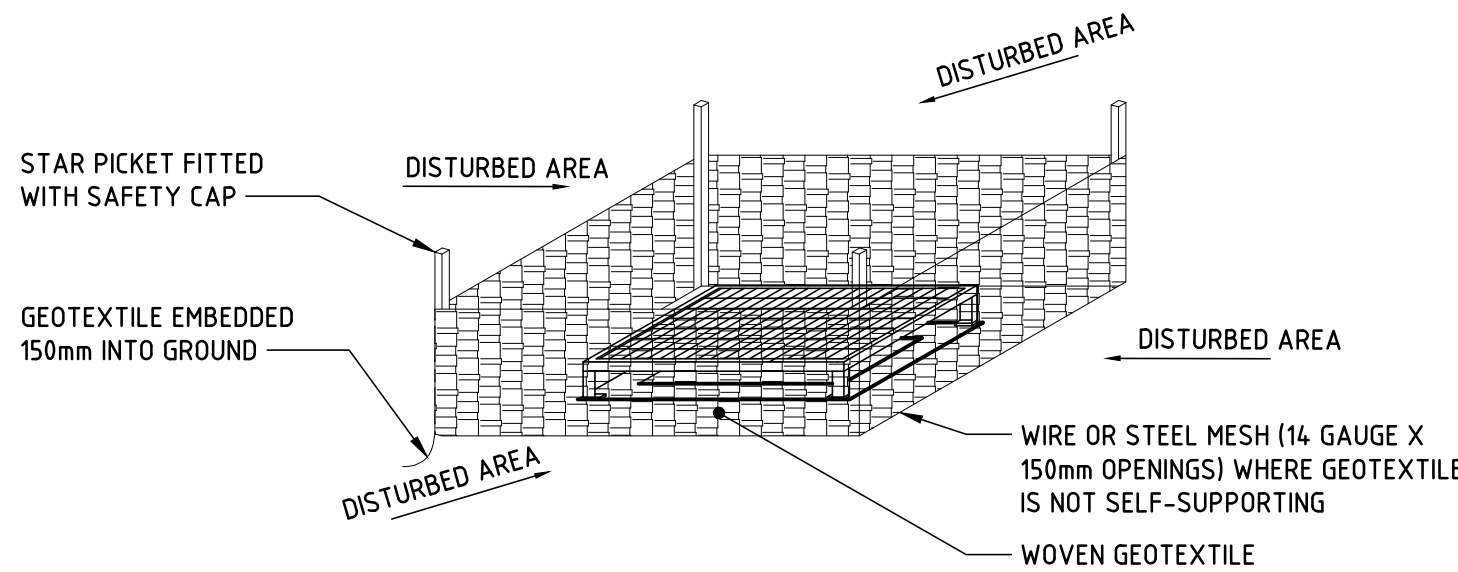
**CONSTRUCTION NOTES:**

- STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
- COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
- CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
- ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
- WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

**SEDIMENT & EROSION CONTROL**

**GENERAL NOTES:**

- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO DISTURBANCE OF THE RELATED CATCHMENT AREA AND TO THE STANDARDS OF THE N.S.W DEPARTMENT OF HOUSING MANAGING URBAN STORMWATER "SOILS AND CONSTRUCTION 4TH EDITION MARCH 2004.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS AS SHOWN ON PLANS. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E. ALL FOOTPATHS, TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS BATTERS) SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF STOCKPILES ARE TO REMAIN FOR LONGER THAN 14 DAYS STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL PROVIDE SAND BAGS OR SEDIMENT TRAPS AT 20m CTS ACROSS EACH ROAD GUTTER AS AT COMPLETION OF FOOTPATH FORMATION TO AVOID SEDIMENT LOSS FROM THE ROAD & FOOTPATH AREAS.
- VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
- WHEN ANY DEVICES ARE TO BE HANDED OVER TO ROAD & DRAINAGE CONTRACTORS THEY SHALL BE IN A CLEAN AND STABLE CONDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL REVEGETATED AREAS, INCLUDING WATERING UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR MUST COMMENCE REHABILITATION WITHIN A REASONABLE TIME OF ANY SITE REGRADING AND BATTER FORMATION.

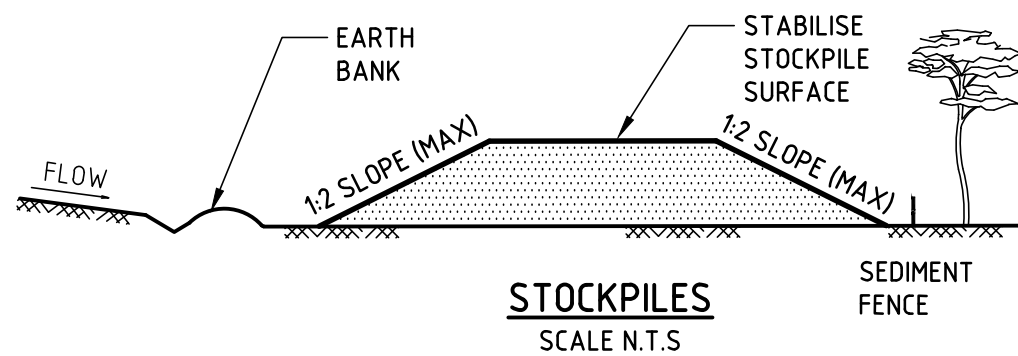


**GEOTEXTILE INLET FILTER**  
SCALE N.T.S

**CONSTRUCTION NOTES:**

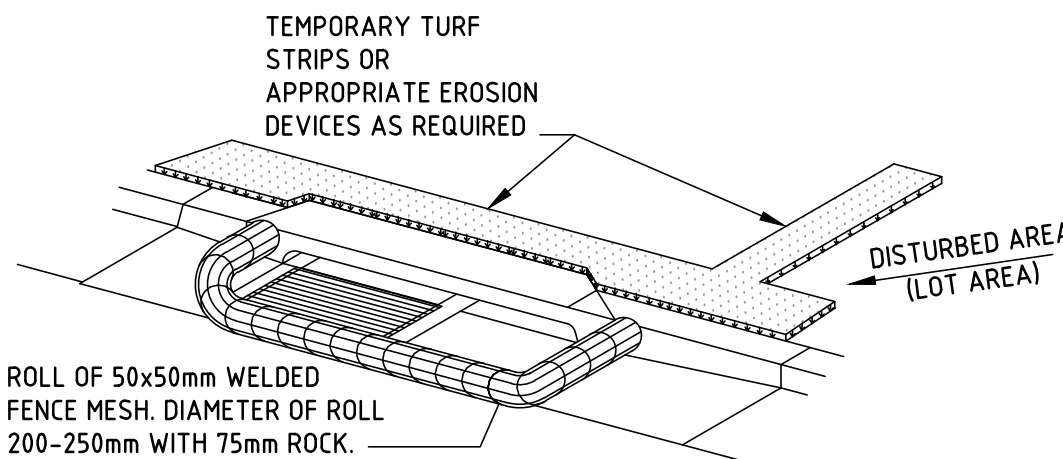
- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
- REDUCE THE PICKET SPACING TO 1m CENTRES.
- IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
- DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

DETERMINED by the New South Wales Land & Housing Corporation on:



**CONSTRUCTION NOTES:**

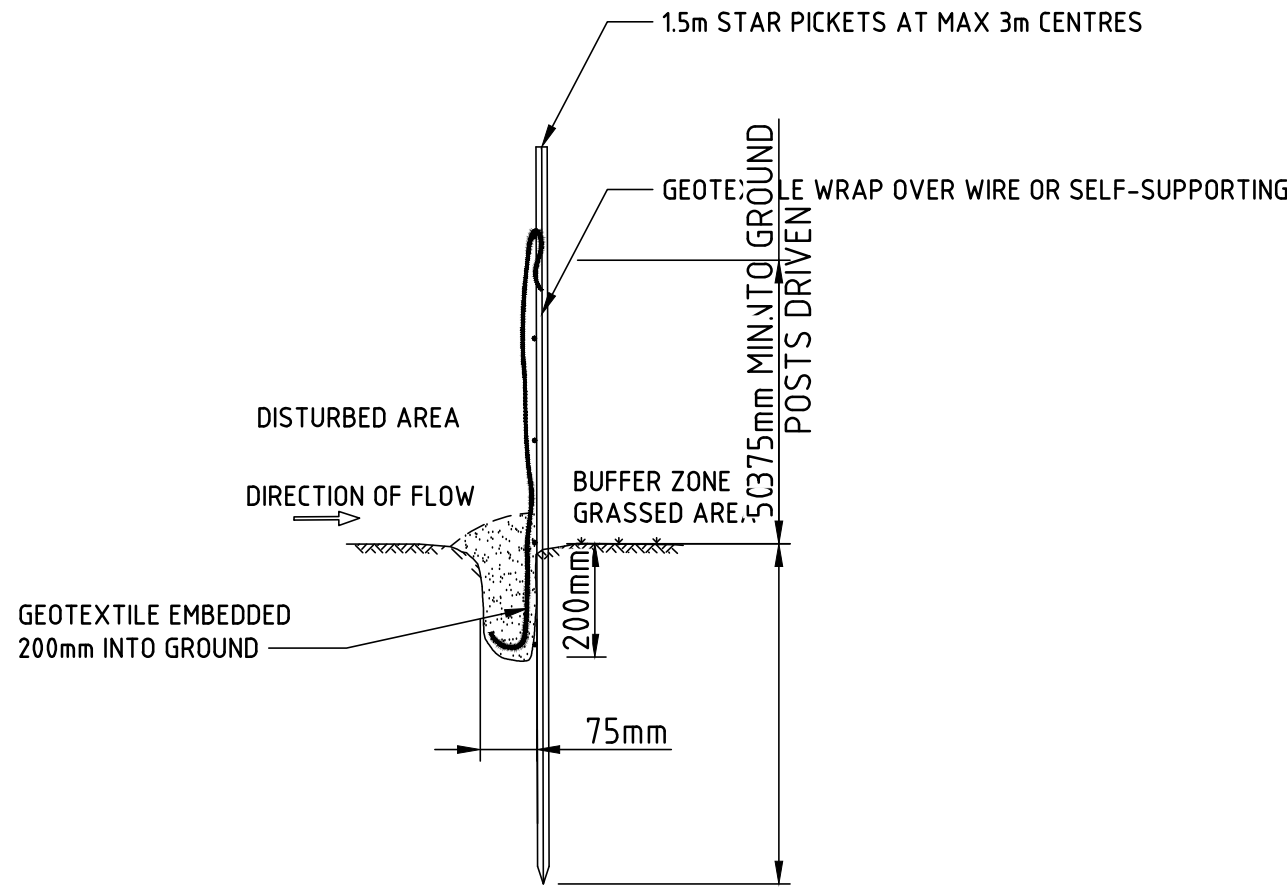
- PLACE STOCKPILES MORE THEN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE ABLE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTHBANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES ANS SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.



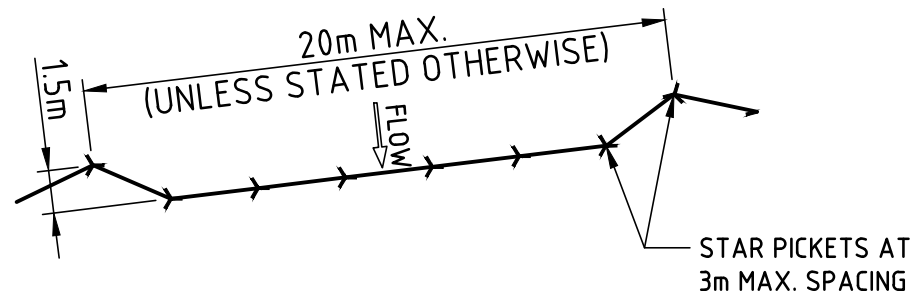
**PLAN OF KERB INLET SEDIMENT TRAP**  
SCALE N.T.S

**WASTE CONTROL:**

- THE CONTRACTOR TO BE RESPONSIBLE FOR WASTE DISPOSAL ON SITE.
- ALL BUILDING PRODUCTS & CLEARED VEGETATION TO BE REMOVED OFF SITE IN AN APPROVED MANNER TO LICENSED LAND FILL SITE.
- EQUIPMENT MAINTENANCE & REFUELLING OF CONSTRUCTION VEHICLES TO BE DONE IN A DESIGNATED AREA USING BUNDING AND BEST PRACTICE MANAGEMENT CONTROLS FOR REFUELLING.
- ALL SPILLS TO BE CLEARED UP IMMEDIATELY.



**SEDIMENT FENCE**  
SCALE N.T.S



**CONSTRUCTION NOTES:**

- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
- CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 15 METRE LONG STAR PICKETS INTO THE GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- JOIN THE SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

(CONTRACTOR TO CONFIRM FINAL SIGNAGE WITH COUNCIL)  
(SIGN TO BE ERECTED AT SITE ENTRY POINTS)

The sign(s) must be constructed of durable materials, at least the size of a standard "For Sale" sign (1200x900). The wording of the sign must be as follows: The warning and fine statement wording must be at least 120mm high and the remainder, at least 60mm high. The warning and fine details must be red bolded capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.



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	02	25/08/2017	DEVELOPMENT APPLICATION RE-ISSUE	004	CH	DRAFTING CHECK	G. FLEMING
	03	12/01/2018	REVISED DEVELOPMENT APPLICATION	010	CH	DESIGNER	L. RYAN
	04	26/11/2020	REVISED DEVELOPMENT APPLICATION	018	GF	DESIGN CHECK	G. FLEMING
						PROJECT MANAGER	G. FLEMING
						PROJECT DIRECTOR	C. MILES

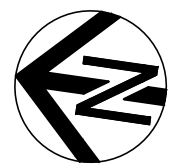
SCALES AT A1 SIZE DRAWING			

DESIGNER	 Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMEC PROJECT No. 300177343.5
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CLIENT: LAND AND HOUSING CORPORATION	 Family & Community Services
--------------------------------------	--

PROJECT TITLE CAMPBELLTOWN CITY COUNCIL ROSEMEADOW - STAGE 3 SOIL AND WATER MANAGEMENT DETAILS AND NOTES			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 30017734\3.05.DA861	REVISION 04





DETERMINED by the New South Wales Land & Housing Corporation on:

20/6/2021

COPPERFIELD DRIVE

SEE INSET

THOMAS ROSE DR

101  
DP 837158

(FUTURE  
20.67 WIDE  
ROAD  
DEDICATION)

196  
5359m<sup>2</sup>

DRAINAGE  
RESERVE

193  
1872m<sup>2</sup>  
(RESIDUE)

LOT TABLE	
LOTS	91
LAHC (RESIDUE)	3
FUTURE ROAD DEDICATION LOTS	4
DRAINAGE RESERVE	1
TOTAL	99

#### PROPERTY INFORMATION

PROPERTY DESCRIPTION: LOT 90 DP 1166578  
LOT 33 & 34 DP 700703  
PART VOLUME 3714 FOLIO 16  
(SHOWN DP 1166578)  
CREATION OF EASEMENT TO DRAIN  
WATER OVER LOTS 25 & 38  
DP700703

#### LEGEND

- PROPOSED LOTS
- EXISTING CADASTRAL BOUNDARY

#### EASEMENT INFORMATION:

- (A) EASEMENT TO DRAIN WATER 1.5 WIDE
- (B) EASEMENT FOR SUPPORT 0.5 WIDE
- (C) EASEMENT FOR PADMOUNT SUBSTATION 3.2 WIDE
- (D) RESTRICTION ON THE USE OF LAND
- (E) RESTRICTION ON THE USE OF LAND
- (F) EASEMENT TO DRAIN WATER 2.5 WIDE AND VARIABLE
- (G) EASEMENT TO DRAIN WATER 0.9 WIDE
- (H) EASEMENT FOR SUPPORT 0.75 WIDE
- (M) EASEMENT FOR ELECTRICITY PURPOSES 2.75 WIDE
- (N) EASEMENT FOR ELECTRICITY 3.0 WIDE
- (R) RESTRICTION ON THE USE OF LAND 0.9 WIDE
- (BB) EASEMENT TO DRAIN WATER VARIABLE WIDTH  
(VIDE DP 700703) (TO BE RELEASED)
- (DD) EASEMENT FOR ELECTRICITY PURPOSES 1 WIDE  
(VIDE DP 700703) (TO BE RELEASED)
- (EE) EASEMENT FOR SERVICES 1.5 WIDE VARIABLE WIDTH  
(VIDE DP 700703) (TO BE RELEASED)
- (MM) EASEMENT FOR ELECTRICITY PURPOSES 2.75 WIDE  
(VIDE DP 700703) (TO BE RELEASED)

COPPERFIELD  
DRIVE

INSET

LOT 196

SCALE 1:250

THIS PLAN WAS PREPARED FOR LAHC AS A PROPOSED  
SUBDIVISION APPLICATION AND SHOULD NOT BE USED FOR  
ANY OTHER PURPOSE. THE DIMENSIONS AREAS AND TOTAL  
NUMBER OF LOTS SHOWN HEREON ARE APPROXIMATE ONLY  
AND SUBJECT TO FIELD SURVEY AND ALSO TO THE  
REQUIREMENTS OF COUNCIL AND ANY OTHER AUTHORITY  
WHICH MAY HAVE REQUIREMENTS UNDER ANY RELEVANT  
LEGISLATION. IN PARTICULAR, NO RELIANCE SHOULD BE  
PLACED ON THE INFORMATION ON THIS PLAN FOR ANY  
FINANCIAL DEALINGS INVOLVING THE LAND. THIS NOTE IS AN  
INTEGRAL PART OF THIS PLAN.

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V:\\_Vault\Projects\_Urban\300178176-Rosemeadow\11. CAD\01\_Dwg\03\_CC\Stage\_03\300178176.03.CC021.dwg

PLOT DATE  
01 Dec 2020

TIME  
11:19:46

EXTERNAL REFERENCE FILES

REV	DATE	AMENDMENT / REVISION DESCRIPTION
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B	25/09/20	ISSUED FOR APPROVAL
C	24/11/2020	ISSUED FOR APPROVAL
D	01/12/2020	ISSUED FOR APPROVAL

WVR No  
002  
004  
006  
007

APPROVAL	TITLE	NAME
BS	DRAFTER	A.D'ORAZIO
BS	DRAFTING CHECK	Z.KHALIL
GF	DESIGNER	Z. KHALIL
GF	DESIGN CHECK	G.FLEMING
	PROJECT MANAGER	G.FLEMING
	PROJECT DIRECTOR	C.MILES

SCALES AT A1 SIZE DRAWING

SCALE 1:500

DESIGNER



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LEVEL 6, 3 HORWOOD PLACE  
PARRAMATTA NSW, 2150  
PH +61 2 9900 7100  
SMEC PROJECT No. 300178176

CLIENT



Family &  
Community Services  
Land & Housing Corporation

PROJECT TITLE  
CAMPBELLTOWN CITY COUNCIL  
ROSEMEADOW - STAGE 3  
PLAN OF PROPOSED SUBDIVISION

SCALE	PHASE	PROJECT / DRAWING No	REVISION
AS NOTED	APPROVAL	300178176.03.CC021	D

150 mm ON ORIGINAL

A1